



A G E N D A
STUART BOARD OF ADJUSTMENT
TO BE HELD FEBRUARY 28, 2019
AT 5:30 PM
COMMISSION CHAMBERS
121 S.W. FLAGLER AVE.
STUART, FLORIDA 34994

Chair - Kristin Stanley
Vice Chair - Christina Vogl
Board Member - Antone Freitas
Board Member - Donna Rollins
Board Member - Helen McBride

ADMINISTRATIVE

Development Director, Kev Freeman
Board Secretary, Michelle Vicat

In compliance with the Americans with Disabilities Act (ADA), anyone who needs a special accommodation to attend this meeting should contact the City's ADA coordinator at 288-5306 at least 48 hours in advance of the meeting, excluding Saturday and Sunday.

If a person decides to appeal any decision made by the Board with respect to any matter considered at this meeting, he will need a record of the proceeding, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

CALL TO ORDER

ROLL CALL

ANNUAL BOARD REORGANIZATION

1. Annual Board Reorganization

APPROVAL OF MINUTES

2. Approval of BOA Minutes

COMMENTS FROM THE PUBLIC (5 min. max)

COMMENTS FROM THE BOARD MEMBERS

OTHER MATTERS BEFORE THE BOARD

3. Final Order of Variance Request - 1515 SE 5th Street - Jeremy LeMaster

A variance request to allow a lot split at 1515 SE 5th Street, in order to allow the lot width to be 55 feet, where 75 feet is required, and the lot area to be 6,970 square feet where 7,500 square feet is required.

STAFF UPDATE

ADJOURNMENT

UPCOMING MEETINGS and EVENTS

**CITY OF STUART, FLORIDA
AGENDA ITEM REQUEST
Board of Adjustment**

Meeting Date: 2/28/2019

Prepared by: Michelle Vicat

Title of Item:

Annual Board Reorganization

Summary Explanation/Background Information on Agenda Request:

Elect Chair and Vice Chair

Funding Source:

N/A

Recommended Action:

Elect Chair and Vice Chair

**CITY OF STUART, FLORIDA
AGENDA ITEM REQUEST
Board of Adjustment**

Meeting Date: 2/28/2019

Prepared by: Michelle Vicat

Title of Item:

Approval of BOA Minutes

Summary Explanation/Background Information on Agenda Request:

Approval of BOA Minutes

Funding Source:

N/A

Recommended Action:

Approve

ATTACHMENTS:

Description	Upload Date	Type
□ BOA Minutes	2/18/2019	Cover Memo

MINUTES

**BOARD OF ADJUSTMENT MEETING
SEPTEMBER 27, 2018 AT 5:30 PM
CITY COMMISSION CHAMBERS
121 S.W. FLAGLER AVE.
STUART, FLORIDA 34994**

**BOARD OF ADJUSTMENT MEMBERS
Chair – Kristin Stanley
Vice Chair – Vacant
Board Member – Helen McBride
Board Member – Donna Rollins
Board Member – Robert Holland**

**ADMINISTRATIVE
Development Director, Kev Freeman
Board Secretary, Michelle Vicat**

CALL TO ORDER  **5:32 PM**

 **5:31 PM Roll Call.**

Present: Helen McBride, Kristin Stanley, Robert Holland. Absent: Donna Rollins.

APPROVAL OF MINUTES

 **5:32 PM Motion: Action:** Approve, **Moved by** Helen McBride, **Seconded by** Robert Holland.
Motion passed unanimously.

COMMENTS FROM THE PUBLIC (5 min. max): None

COMMENTS FROM THE BOARD MEMBERS:

Helen McBride asked Kev Freeman the definition of hardship.

Kev Freeman said hardship is a broad term and is defined in the code as something that is caused by the applicant. If they have an established lot and want to split that lot then they are creating the hardship but in other cases they might find that the existing lot is of such a shape that is already defined and they would need a variance to do something on it and the applicant has not created that hardship.

Helen McBride said she didn't think the board was getting enough information. They didn't have a picture of the existing house on that lot and asked for more information.

Kev Freeman said they would look at that and meet with Helen to discuss.

Kristin Stanley said she wouldn't be adverse to having the definition of hardship in the agenda packet.

Kev Freeman said that would be useful and they would do that.

OTHER MATTERS BEFORE THE BOARD

1. Variance - Carlson Residence - 441 SE Robalo Court
Robert Carlson, Owner with Robert Carlson Sr.

PRESENTATION: Stephen Mayer, Senior Planner

PUBLIC COMMENT: None

BOARD COMMENT:

Kristin Stanley asked what the hardship was.

Robert Carlson said there is no room for any storage and there is no room to put anything like a storage shed in his back yard.

Kristin Stanley asked if there was another option for a detached garage.

Stephen Mayer described what he could do.

Kristin Stanley said the attached garage was a better plan.

Robert Holland said he liked the way it was attached.

Helen McBride asked what he was going to do with the front yard.

Robert Carlson said it would probably be grass since he wouldn't have to park there if he had a garage.

Robert Holland asked if there were any issues with pervious surfaces.

Stephen Mayer said there were none.

 6:00 PM **Motion: Action:** Approve, **Moved by** Helen McBride, **Seconded by** Robert Holland.
Motion passed unanimously.

ADJOURNMENT  6:01 PM **Motion: Action:** Adjourn, **Moved by** Robert Holland, **Seconded by** Helen McBride. Motion passed unanimously.

Kristin Stanley, Chairman

Michelle Vicat, Secretary

CITY OF STUART, FLORIDA AGENDA ITEM REQUEST Board of Adjustment

Meeting Date: 2/28/2019

Prepared by: Stephen Mayer

Title of Item:

Final Order of Variance Request - 1515 SE 5th Street - Jeremy LeMaster

A variance request to allow a lot split at 1515 SE 5th Street, in order to allow the lot width to be 55 feet, where 75 feet is required, and the lot area to be 6,970 square feet where 7,500 square feet is required.

Summary Explanation/Background Information on Agenda Request:

This item is a request for a variance to allow a lot split of an existing 110 foot lot into two (2) 55-foot lots when a 75 foot wide lot is required in order to construct two (2) single-family dwelling units within the R-1 (Residential-Single-Family) zoning district at 1515 SE 5th Street in accordance with the Proposed Site Plan, Floor Plan and Architectural Plan by Medalist Building Group, LLC. The applicant also is requesting variances to the lot area (from 7,500 square feet to 6,970 square feet. The applicant is not proposing any variances to the required R-1 zoning setbacks.

In accordance with Section 8.05.02. (A) (B) and (C), "Limitations on Granting Variances", Variances may be granted in such cases of unnecessary hardship, upon a finding by the Board of Adjustment that grant of a minimum variance to alleviate the unnecessary hardship, due to existing unique characteristics and conditions of the property, will not:

1. Authorize any use of the property that is not allowed as a permitted use or a use allowed by special exception in the district in which the property is located; and
2. Allow a density or intensity of use that exceeds the maximum density or intensity that is permitted in the district in which the property is located; and
3. Result in a verifiable reduction of the property values of any adjacent or nearby properties; and
4. Cause a detrimental effect in the supply of light and air to adjacent properties; and
5. Cause a detrimental effect with respect to drainage of the subject property as well as adjacent properties; and
6. Cause an increase of traffic on adjacent or nearby roads to levels that are not usual for the types of uses in the neighborhood; and
7. Cause any threat to public safety in any manner whatsoever; and
8. Cause any threat to the health or general welfare of the inhabitants of the City.

Staff has received public comment from neighbors in regards to concerns they have about the variance request. A majority of the concerns centered on the construction issues and the splitting of a lot that has was a single house on a combined lot as recent as 2006, when the prior house was demolished.

The Residential – Low Density future land use designation comprises areas designated for single-family with a gross density of 8.7 dwelling units per acre. Two (2) units within a .32 acre property is 6.25 dwelling units/acre, which is below the density cap pursuant to the Comprehensive Plan. The proposed residential development does not create a greater density than allowed by the Residential – Low Density future land use designation. Staff has received phone calls that expressed concern about density of an additional single family home and that the applicant has already started to build the second home by installing a concrete pad. Staff is aware of the building permit violation and is monitoring the work to avoid any continuation of this violation. The main issue for this application is the question of 'hardship' as defined in the land development regulations.

Funding Source:

N/A

Recommended Action:

Staff recommends approval of the Final Order to allow a lot split subject to a burden of proof of hardship being presented to the Board by the applicant.

ATTACHMENTS:

Description	Upload Date	Type
▣ Staff Report	2/18/2019	Staff Report
▣ Final Order - Attachment A	2/18/2019	Attachment
▣ Site Plan - Lot 22	2/18/2019	Attachment
▣ Site Plan - lot 23	2/18/2019	Attachment
▣ Elevations - lot 22	2/18/2019	Attachment
▣ Elevation - lot 23	2/18/2019	Attachment
▣ Floor Plan - Lot 23	2/18/2019	Attachment
▣ Floor plan - lot 22	2/18/2019	Attachment
▣ Warranty Deed - Lot 22	2/18/2019	Attachment
▣ Warranty Deed - Lot 23	2/18/2019	Attachment
▣ Variance application	2/18/2019	Backup Material
▣ St Lucie Estates Plat	2/18/2019	Backup Material
▣ Justification Statement from Applicant	2/18/2019	Backup Material



CITY OF STUART
BOARD OF ADJUSTMENT
February 28, 2019



Request: Request for a variance to allow the splitting of an existing 110 foot lot into two 55-foot lots when a 75-foot lot is required, 6,970 square feet of lot area when 7,500 square feet is required within the R-1 Single Family zoning district of the City of Stuart.	Property Owners: Jeremy LeMaster
Project No.: Z19010003	Applicant/Petitioners: Jeremy LeMaster
Location: 1515 SE 5th Avenue PCN: 03-38-41-023-029-00220-4	Agent/Representative: Medalist Building Group, Ella Taylor

Location of property in relation to surrounding neighborhood



STAFF REPORT

I. LEGAL NOTICE REQUIREMENTS

A. Requirements for Application – The applicants have complied with all legal notification requirements. (See attached documentation)

B. Site Posting Date: February 13, 2019

C. Mail Notice Postmark: February 13, 2019, to owners within 300 feet

D. Publication Date: N/A for a Variance application.

II. PROPOSED FINAL ORDER DATED February 28, 2019 (Attachment A)

III. APPLICATION DATED January 16, 2019 (Attachment B)

Request for a variance to allow a lot split of an existing 110 foot lot into two (2) 55-foot lots when a 75 foot wide lot is required in order to construct two (2) single-family dwelling units within the R-1 (Residential-Single-Family) zoning district at 1515 SE 5th Street in accordance with the Proposed Site Plan, Floor Plan and Architectural Plan by Medalist Building Group, LLC. The applicant also is requesting variances to the lot area (from 7,500 square feet to 6,970 square feet. The applicant is not proposing any variances to the required R-1 zoning setbacks

The following relief from the minimum regulations for 1515 SE 5th Street is highlighted in the table below:

Land Development Regulations vs Variance Request	
R-1 (Residential/Single-Family) Zoning Requirements	Proposed Single Family Residences (lot 22 and 23)
Minimum Zoning Lot = 7,500 square feet	Minimum Zoning Lot = 6,970 square feet
Minimum lot width = 75 feet	Minimum lot width = 55 feet
Maximum Impervious Surface Coverage = 40%	Maximum Impervious Surface Coverage = 40%
Front Setback = 25 feet (front setback can be lessened by 10 feet with construction of a porch at min. 50% of first floor street façade)	Front setback = 20 feet (with Front Porch)
Side Setbacks = 7.5 feet	Side setback = 9.59 feet
Rear Setback = 15 feet	Rear setback = 30.48 feet
Maximum Height = 35 feet	Maximum Height = 21.5 feet

IV. CRITERIA FOR REVIEWING VARIANCE

In accordance with Section 8.05.02. (A) (B) and (C), “Limitations on Granting Variances”, Variances may be granted in such cases of unnecessary hardship, upon a finding by the Board of Adjustment that grant of a minimum variance to alleviate the unnecessary hardship, due to existing unique characteristics and conditions of the property, will not:

1. Authorize any use of the property that is not allowed as a permitted use or a use allowed by special exception in the district in which the property is located; and

2. Allow a density or intensity of use that exceeds the maximum density or intensity that is permitted in the district in which the property is located; and
3. Result in a verifiable reduction of the property values of any adjacent or nearby properties; and
4. Cause a detrimental effect in the supply of light and air to adjacent properties; and
5. Cause a detrimental effect with respect to drainage of the subject property as well as adjacent properties; and
6. Cause an increase of traffic on adjacent or nearby roads to levels that are not usual for the types of uses in the neighborhood; and
7. Cause any threat to public safety in any manner whatsoever; and
8. Cause any threat to the health or general welfare of the inhabitants of the City.

V. STAFF ANALYSIS

A. Site and Area Characteristics

The existing residential property is located at 1515 SE 5th Street, a .32 acre property in the St. Lucie Estates area; an area which consists of single family residential dwelling units adjacent and to the east of Fisherman's Village (duplexes) and some multi-family and commercial along Ocean Boulevard to the north. The property is bounded by existing single family residential units on the east and south sides. A vacant commercial property is to the west, and a single family house and an office is adjacent to the north and northeast. The zoning on the property is Residential – Single-Family (R-1) and a Future Land Use designation of Residential – Low Density. The architectural design and scale of the proposed one-story single-family residences are considered to be in keeping with the surrounding area and will generally not detract from the single-family character of the neighborhood to the south.

The Residential – Low Density future land use designation comprises areas designated for single-family with a gross density of 8.7 dwelling units per acre. Two (2) units within a .32 acre property is 6.25 dwelling units/acre, which is below the density cap pursuant to the Comprehensive Plan. The proposed residential development does not create a greater density than allowed by the Residential – Low Density future land use designation. Staff has received phone calls that expressed concern about density of an additional single family home and that the applicant has already started to build the second home by installing a concrete pad. Staff is aware of the building permit violation and is monitoring the work to avoid any continuation of this violation.

According to the Stuart Code of Ordinances, Section 32-101, the division of a parcel of land (regardless of size) into three (3) or more lots, sites or parcels will require a subdivision plat. Therefore, plat approval per Section 11.01.04 of the City's Land Development Code is NOT required for the creation of two (2) single-family residences.

The Public Works Department will require details of the construction to ensure there are no issues of storm water run-off in relation to the property and its surroundings at the Building Permit stage in the process. The applicant has applied for and is currently constructing a single family home on the site. The applicant will be subject to a detailed plan review at the time when a site and construction permit is submitted to the Building Department for the remaining single-family home to be erected.

B. Public Comment

Staff has received public comment from neighbors in regards to concerns they have about the variance request. A majority of the concerns centered on the construction issues and the splitting of a lot that has was a single house on a combined lot as recent as 2006, when the house was demolished.

VI. STAFF RECOMMENDATION

Staff recommends approval of the Final Order to allow a lot split subject to the burden of proof of hardship being presented to the Board by the applicant.

VII. ATTACHMENTS

Attachment A: Final Order of Variance Approval dated February 28, 2019

Exhibit 1: Existing Boundary Survey and Legal Description by Medalist Building Group, LLC

Exhibit 2: Site Plan by Medalist Building Group, LLC

Exhibit 3. Floor Plan and Elevations by Medalist Building Group, LLC

Attachment B: Application for variance and Supporting Information

Return to:
City Attorney
City of Stuart
121 SW Flagler Avenue
Stuart, FL 34994

**BEFORE THE BOARD OF ADJUSTMENT
CITY OF STUART, FLORIDA**

Case #Z19010003

In re: The Code Variance Application of
Jeremy LeMaster
1515 SE 5th Street
PCN: 03-38-41-023-029-00220-4

FINAL ORDER OF VARIANCE APPROVAL

THIS CAUSE came for hearing before the Board of Adjustment for the City of Stuart, Florida, at a regular set hearing at **5:30 PM on February 28, 2019**, at the City Commission Chambers, 121 S.W. Flagler Avenue, Stuart, Florida; and the Board, having considered the sworn testimony and other evidence presented by the City staff, the Petitioner, and any Interveners, finds as follows:

1. Notice of the hearing was provided as required by the Stuart Land Development Code (LDC). Notice was not challenged by any party at the hearing, and the Board of Adjustment has jurisdiction over this case as provided in the Sec. 8.05.01, LDC, *et seq.*

2. The parties were represented by **Stephen Mayer**, Senior Planner. **Jeremy LeMaster**, property owner and petitioner, was in attendance.

3. **Stephen Mayer**, of the City Development Department, testified on behalf of the City that **Jeremy LeMaster**, is the title owner of the real property at **1515 SE 5th Street**, (hereinafter the "Subject Property"), having a legal description as found within the Boundary Survey attached '**Exhibit 1**'.

4. **Stephen Mayer** indicated the Subject Property is located at **1515 SE 5th Street**, and is zoned **R-1, Residential – Single-Family**, with a Future Land Use designation of **Residential Low Density**. The Future Land Use and Zoning categories were not challenged by any party at the hearing.

5. The Subject Property shall be developed in accordance with Proposed Site Plan, Floor Plans and Architectural elevations by the Medalist Building Group, LLC, attached as “**Exhibit 3**” of this document.

6. The property owner, **Jeremy LeMaster** gave verbal testimony indicating a desire to construct a **one-story single-family residential house on each of the two lots created by the lot division** through demonstrative evidence shown in a proposed **Site Plan**, as depicted in “**Exhibit 3**”.

7. The Owner and Petitioner, **Jeremy LeMaster**, requested in writing the following reductions to the minimum code requirements at the hearing to allow for a **single-family development of two (2) units**.

- Lot width for each single family dwelling unit is 55 feet rather than 75 feet as required by code.
- Minimum lot area for each single family dwelling unit is 6,970 square feet rather than the 7,500 square feet required by code.

8. **Stephen Mayer** gave testimony and analyzed the case, and indicated the petition is consistent with the City's Comprehensive Plan, and meets the procedural requirements of the law. The testimony concluded by recommending that the board of adjustments consider the Final Order to allow for the variance, subject to the following conditions:

- a. The Subject Property is granted a relief from the Land Development Code as demonstrated in the table below:

Land Development Regulations vs Variance Request	
R-1 (Residential/Single-Family) Zoning Requirements	Proposed Single Family Residences (lot 22 and 23)
Minimum Zoning Lot = 7,500 square feet	Minimum Zoning Lot = 6,970 square feet
Minimum lot width = 75 feet	Minimum lot width = 55 feet
Maximum Impervious Surface Coverage = 40%	Maximum Impervious Surface Coverage = 40%
Front Setback = 25 feet (front setback can be lessened by 10 feet with construction of a porch at min. 50% of first floor street façade)	Front setback = 20 feet (with Front Porch)
Side Setbacks = 7.5 feet	Side setback = 9.59 feet
Rear Setback = 15 feet	Rear setback = 30.48 feet
Maximum Height = 35 feet	Maximum Height = 21.5 feet

- b. Due to storm water impacts, stem wall construction may be required at

the discretion of the Development Department Director.

- c. A survey of the subject property shall be submitted to the City's Development Department defining the two lots by **the application of a building permit.**
- d. Parcel Control Numbers shall be assigned to each lot by the Martin County's property appraiser by **the application of a building permit..**

9. Construction of two (2) detached single-family residences will be in accordance with the Proposed Site Plan, Floor Plan and Architectural Elevations by Medalist Building Group, LLC, attached as "**Exhibit 3**" of this document, along with all other required documents for permitting, which shall be submitted for Building Permit review.

10. If construction is not permitted, built and final inspection performed by **March 1, 2021**, the variance relief granted in this Final Order shall be void. The applicant may request a single extension of this date to the Development Director, who may grant up to a six (6) month time extension with good cause shown.

11. All subsequent Lessees and Owners shall be bound to the terms of this Administrative Variance, and this Administrative Variance shall carry forward and "run with the land" unless later released by the City Development Director, or as otherwise provided by law.

12. At the conclusion of the evidence and any follow up questioning by the Board Members, brief summaries were made by the Petitioner. The Board then entered into deliberation, and discussed the following:

Board Member _____ offered a motion to approve the variance(s). The motion was seconded by Board Member _____ and upon being put to a roll call vote, the vote was as follows:

KRISTIN STANLEY, CHAIR
DONNA M. ROLLINS, MEMBER
CHRISTINA VOGL, MEMBER
HELEN MCBRIDE, MEMBER
ANTONE FREITAS, MEMBER

YES	NO	ABSENT

ADOPTED this 28th day of February, 2019.

ATTEST:

By: _____
MICHELLE VICAT
BOARD SECRETARY

KRISTIN STANLEY, CHAIR

APPROVED AS TO FORM AND CORRECTNESS:

MIKE MORTELL
CITY ATTORNEY

ACCEPTANCE AND AGREEMENT

BY SIGNING THIS ACCEPTANCE AND AGREEMENT, THE UNDERSIGNED HEREBY ACCEPTS AND AGREES TO ALL OF THE TERMS AND CONDITIONS CONTAINED IN THE FOREGOING FINAL ORDER, AND ALL EXHIBITS, ATTACHMENTS AND DEVELOPMENT DOCUMENTS, INTENDING TO BE BOUND THEREBY, AND THAT SUCH ACCEPTANCE AND AGREEMENT IS DONE FREELY, KNOWINGLY, AND WITHOUT ANY RESERVATION, AND FOR THE PURPOSES EXPRESSED WITHIN THE FOREGOING FINAL ORDER. IN WITNESS WHEREOF THE UNDERSIGNED HAS EXECUTED THIS ACCEPTANCE AND AGREEMENT:

WITNESSES:

Witness #1:

Print Name: _____

Signature: _____

Signature: _____

Jeremy LeMaster, Owner

Witness #2:

Print Name: _____

Signature: _____

Case # Z19010003
PCN: 03-38-41-023-029-00220-4
FINAL ORDER OF VARIANCE APPROVAL

OWNERS ACKNOWLEDGMENT

The above Acceptance and Agreement was acknowledged before me this _____
day of _____, 2019, by _____, Petitioner(s).

Notary Public, State of Florida

My Commission Expires:

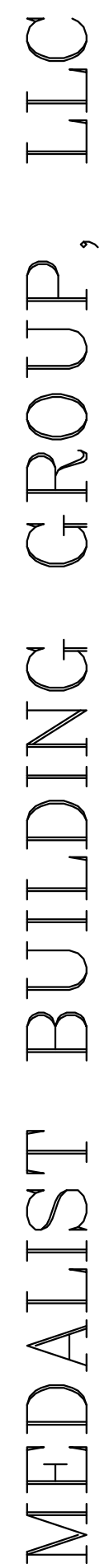
Notary Seal

Personally Known _____ OR Produced Identification _____ Type of ID _____

LEGAL DESCRIPTION
PALM CITY FARMS E 1/2 TRACT 28 (LESS
R/W)
SUPPLEMENT TO SURVEY BY:
CHRISTIAN FENEX - CHRISTIAN FENEX AND
ASSOCIATES
PROFESSIONAL SURVEYOR AND MAPPER
FL REGISTRATION #5102

The map shows a section of East Fifth Street with several lots and utility features. Key elements include:

- LOT 1**: Located on the left, with a width of 115.00' (C.).
- LOT 23 - PROPOSED SINGLE FAMILY RESIDENCE**: A large rectangular lot with a width of 125' (P.) and a depth of 82.50' (SC.).
- LOT 22 - 2,843 SF SINGLE FAMILY RESIDENCE; GARAGE**: A rectangular lot with a width of 125' (P.) and a depth of 132.50' (C.).
- LOT 21**: Located on the right, with a width of 125' (P.) and a depth of 185'.
- EXISTING RESIDENCE (418)**: Located on the right, adjacent to Lot 21.
- Utility Features**:
 - OHW (Outer Wire Line)**: Indicated by a dashed line with circles.
 - W.F. (Water Feature)**: Indicated by a solid line with circles.
 - 562 SF AVAILABLE AREA FOR TRENCH SYSTEM**: Two shaded rectangular areas, one on each side of the street.
 - 15' ALLEY (P.)**: A narrow alleyway on the right side of the street.
- Setbacks and Dimensions**: Various setbacks and dimensions are shown, including 115.00' (C.), 125' (P.), 82.50' (SC.), 132.50' (C.), 185', 110.00' (C.), 55' (P.), 20' ASPHALT PAVEMENT, and 20.02'.
- Graphic Scale**: A scale bar at the bottom right indicates 1" = 10'.



DATE:	DETAILS:	BY:
10-3	SEPTIC & FFE	EDT

PALM CITY FARMS E 1/2 TRACT 28 (LESS
R/W)
SUPPLEMENT TO SURVEY BY:
CHRISTIAN FENEX - CHRISTIAN FENEX AND
ASSOCIATES
PROFESSIONAL SURVEYOR AND MAPPER
FL REGISTRATION #5102

LOT 17

PCN:	033841023029002204
ADDRESS:	1515 (LOT 23) SE 5TH ST. EA
SIZE:	0.1578 ACRES OR 6,874 SF
HOA:	N/A
ZONING:	R-1; RESIDENTIAL DISTRICT
FLU:	LOW DENSITY RESIDENTIAL
EXISTING USE:	VACANT
PROPOSED USE:	SINGLE-FAMILY RESIDENTIAL

UNDER AIR:	2,221 SF
GARAGE:	400 SF
COVERED PORCH TOTAL:	222 SF
TOTAL FOOTPRINT:	2,843 SF

LOT SIZE:	6,874 SF
LOT COVERAGE:	2,843 SF (41%)
IMPERVIOUS SURFACE:	3,254 SF (47%)
FRONT SETBACK:	20'
SIDE SETBACK WEST:	7'
SIDE SETBACK EAST:	7'
REAR SETBACK:	20'

**STORM WATER EROSION CONTROL FROM AREAS OF ANY CONSTRUCTION ACTIVITIES SHALL BE CONTROLLED, TREATED AND MANAGED ON-SITE USING BMP'S SO AS TO NOT CAUSE AN ILLICIT DISCHARGE TO THE COUNTY'S MS4 OR REGULATED WATERS AND WETLANDS. - SILT FENCE: ALL PROPERTY LINES EXCEPT DRIVEWAY



Medalist
Building Group, LLC

CBC1256135
PO BOX 1067
PALM CITY, FL 34991
PH: 772-287-2010
FAX: 772-287-4010
PLANNING@MEDALISTBUILDINGGROUP.COM

1515 (LOT 23) SE 5TH ST. EA
STUART, FL 34996
PREPARED FOR:
MEDALIST BUILDING GROUP, LLC

SHEET 1 OF 1

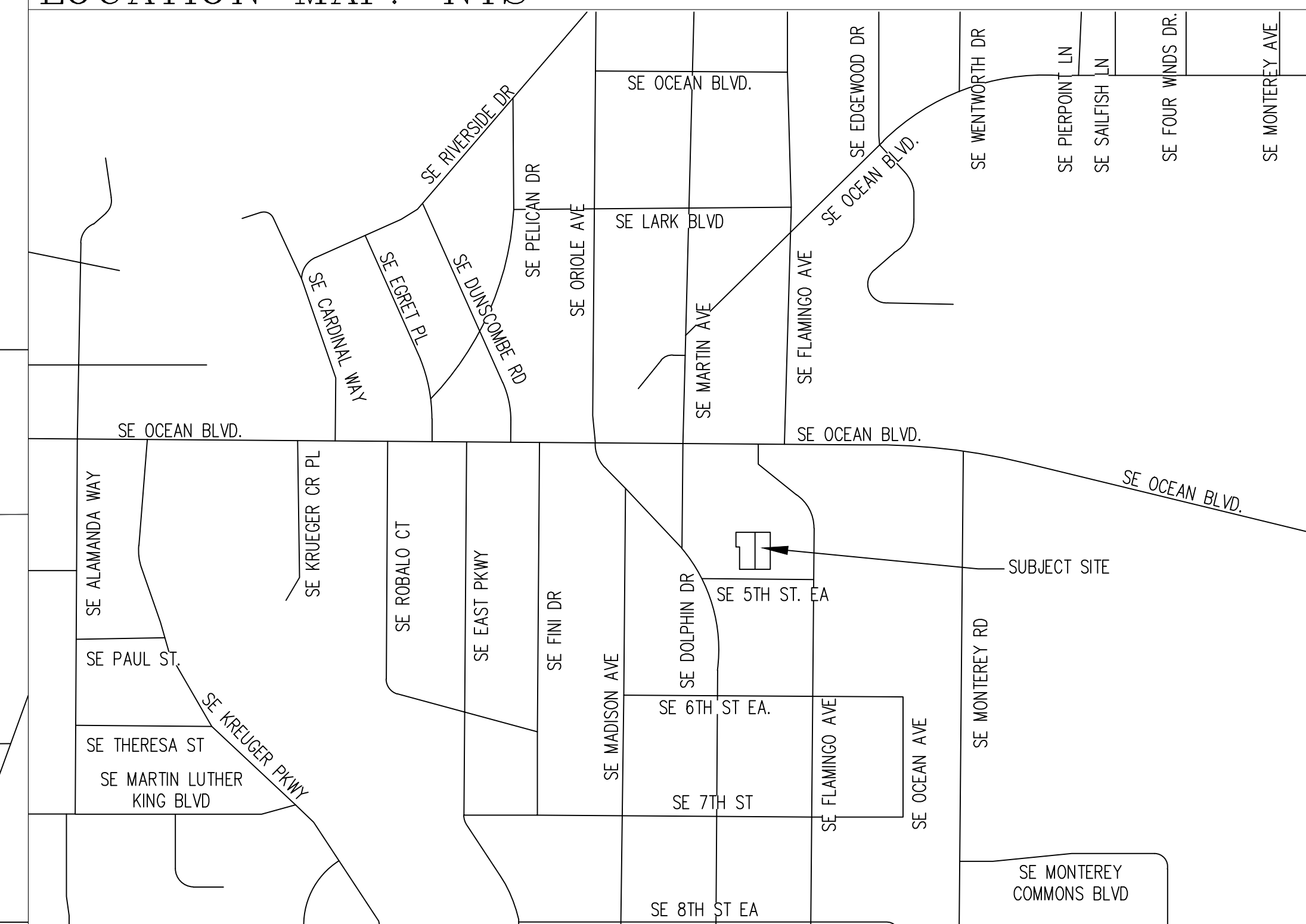
DRAWN BY: EDT

SCALE: 1" = 10'

INITIAL	DWG: 10-03-2018
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REVISIONS

DATE:	DETAILS:	BY:
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GRAPHIC SCALE: 1" = 10'

EAST FIFTH STREET

10/17/18 - MIRRORED ELEVATIONS

CUPOLA BEAM
21'-6" A.F.F.

CUPOLA - SEE DETAIL

4" SMOOTH STUCCO BAND

MIN. 26 GA 5V CRIMP METAL ROOFING INSTALLED PER PRODUCT APPROVAL OVER ASTM D 228 TYPE II 30LB FELT UNDERLAYMENT OVER 1/2" CDX PLYWOOD ATTACHED TO TRUSSES PER SHEETING ATTACHMENT DIAGRAM ON ROOF PLAN. ALL ROOFING AND ROOF ACCESSORIES SHALL BE INSTALLED PER CURRENT VERSION OF RAS 133 AND STRICTLY ADHERE TO THE PRODUCT APPROVAL.

12
6

T.O.B.
10'-0" A.F.F.

OPENINGS, TOP OF
8'-0" A.F.F.

STUCCO SHUTTER - SEE DETAIL

4" SMOOTH STUCCO BAND

COLUMN - SEE DETAIL

8" STUCCO TO LOOK LIKE LAP SIDING

36" RAILING - SEE DETAIL

FINISHED FLOOR
0'-0"

GARAGE FLOOR
0'-4"

FRONT ELEVATION



TO THE BEST OF MY KNOWLEDGE,
THIS STRUCTURE HAS BEEN
DESIGNED IN ACCORDANCE WITH
SECTION 1609 OF THE 2017
FLORIDA BUILDING CODE 6TH
EDITION.

© 2018
ALL RIGHTS
RESERVED.

MEDALIST BUILDING GROUP, LLC
PO BOX 1097
Palm City, FL 34991
QB55703

Phone: 772-287-2010
Fax: 772-287-4010



Medalist
Building Group, LLC

ST: (LOT 22) 1515 SE 5TH ST
STUART, FL 34994

SHEET DESCRIPTION:

ELEVATIONS

REVISION: 2 10/17/18 – MIRRORED ELEVATIONS

MODEL: / STARFISH EXT. L

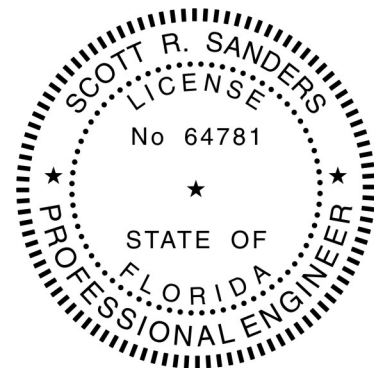
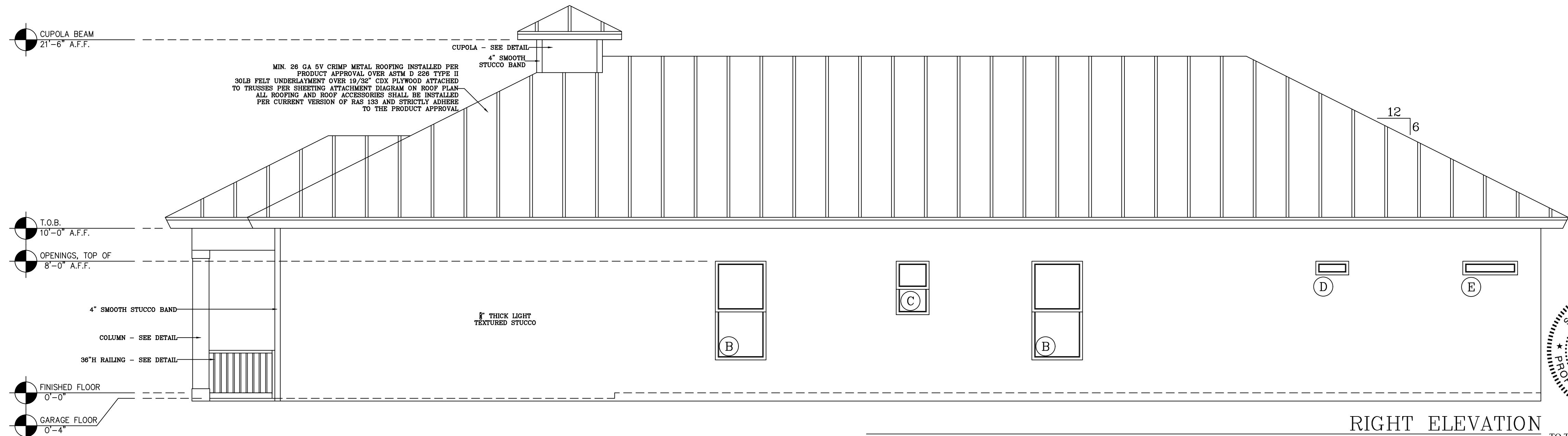
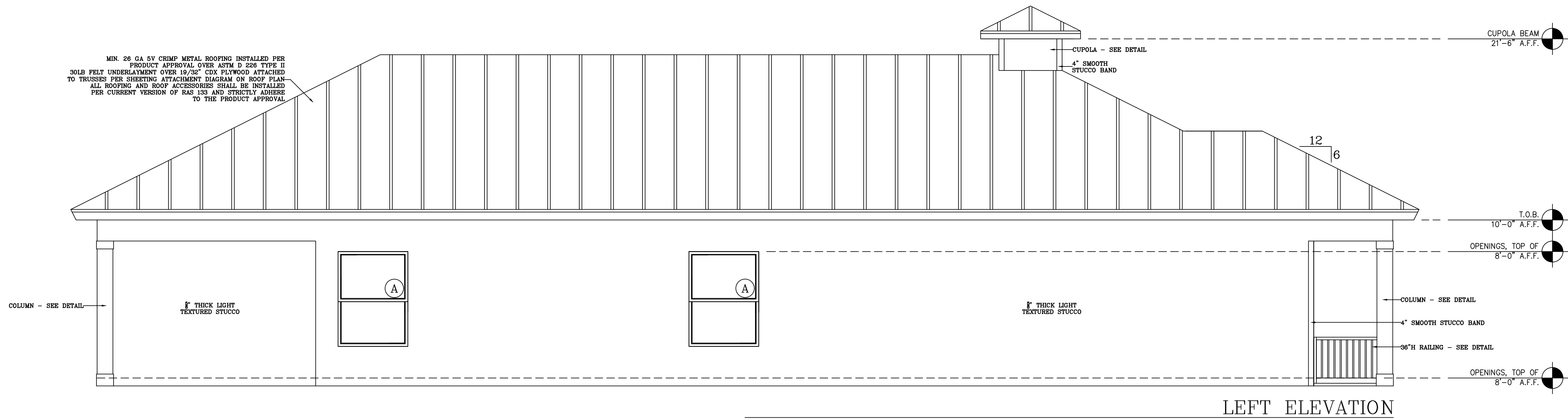
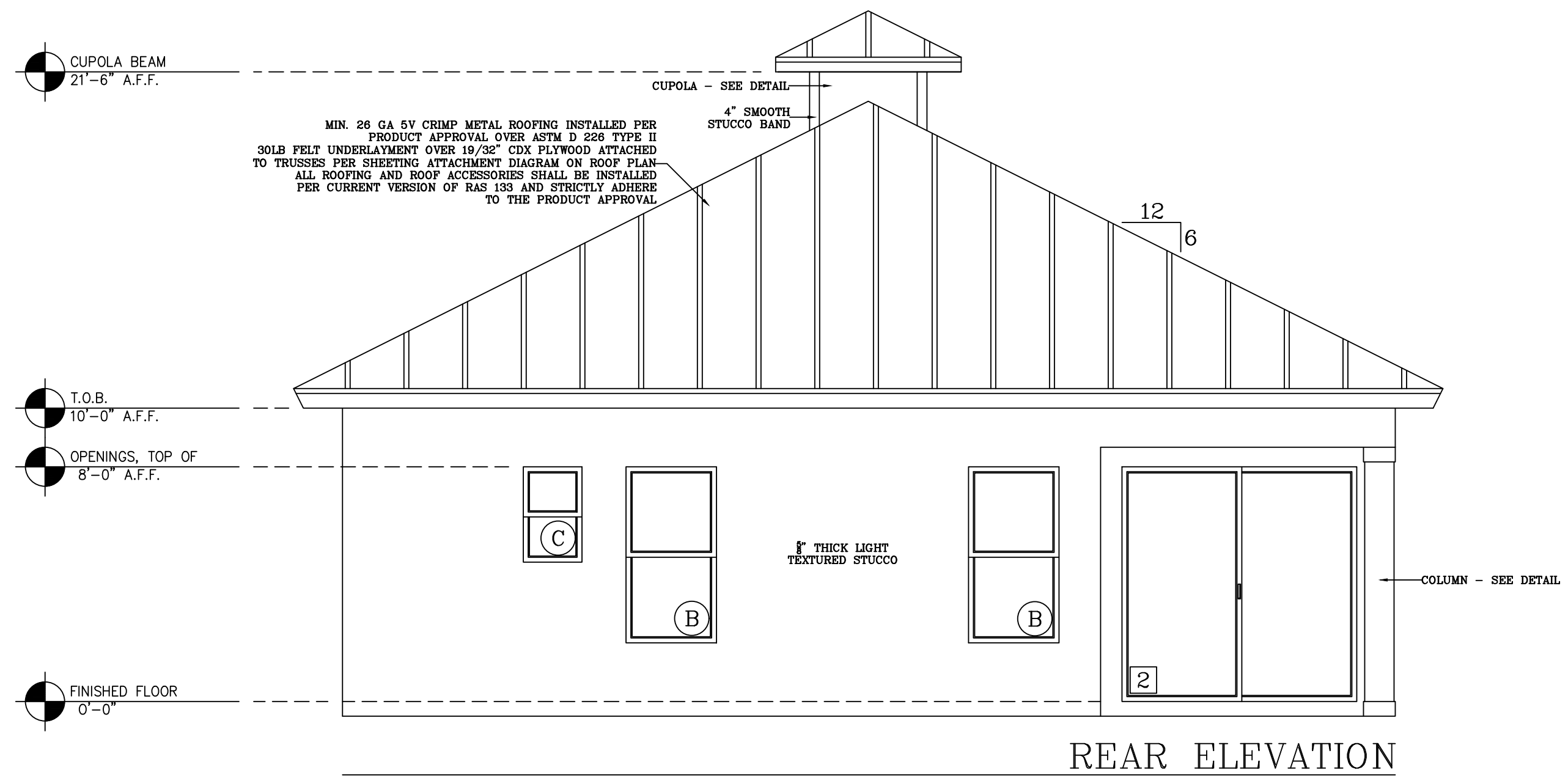
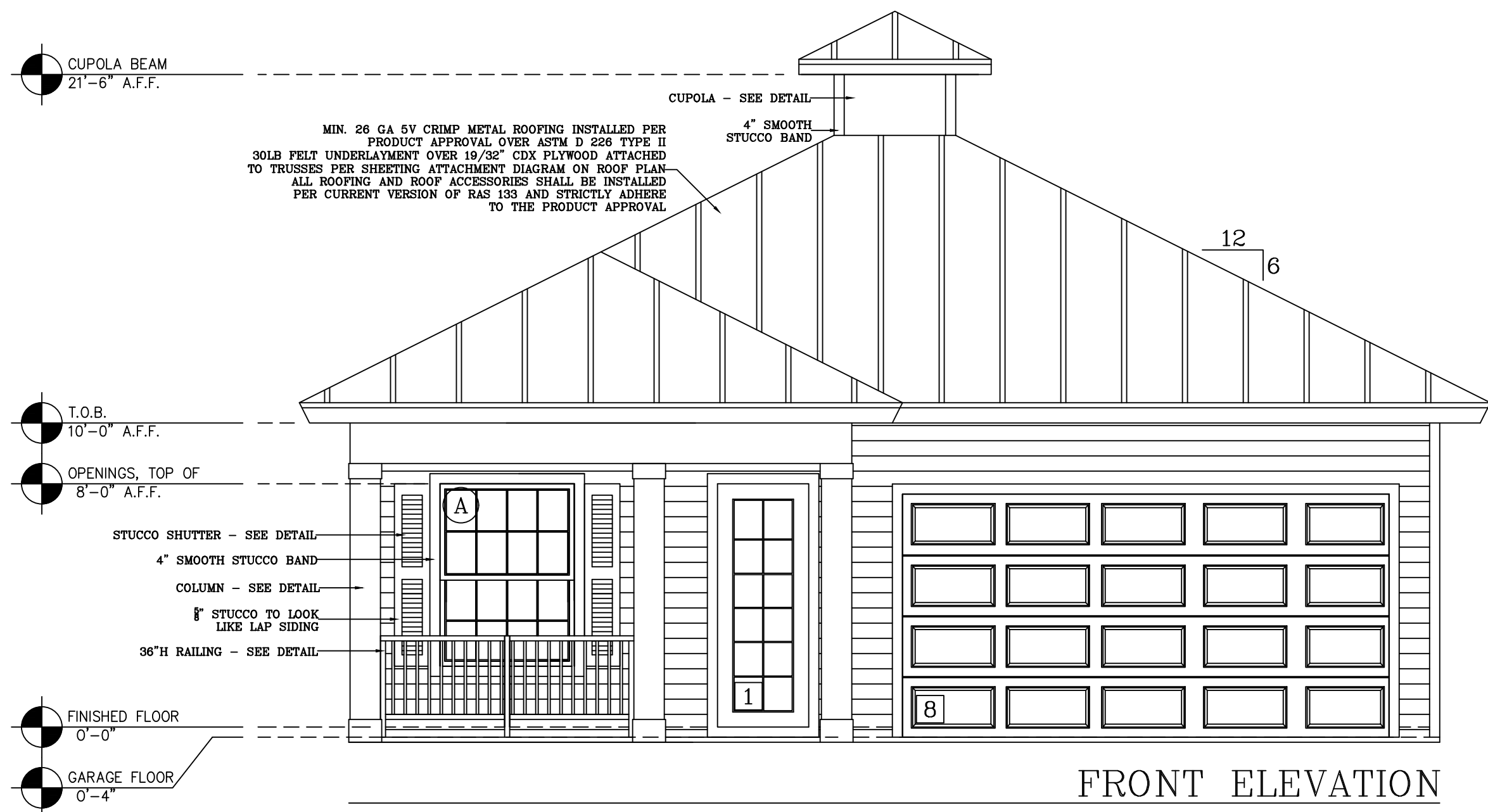
SCALE: $\frac{1}{4}" = 1' - 0"$

DATE: 9.20.18

DRAWN BY: / KLD

SHEET

1



This report has been electronically signed and sealed using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

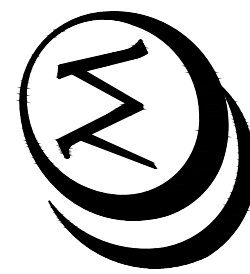
TO THE BEST OF MY KNOWLEDGE, THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2017 FLORIDA BUILDING CODE 6TH EDITION.

SCOTT R. SANDERS, P.E.
FL. REG. NO. 64781

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MEDALIST BUILDING GROUP, LLC
PO BOX 1097
Palm City, FL 34991

Phone: 772-287-2010
Fax: 772-287-4010



Medalist
Building Group, LLC

ADDRESS:
(LOT 23) 1515 SE 5TH ST
STUART, FL 34994

SHEET DESCRIPTION:

ELEVATIONS

REVISION:	MADE BY:	DATE:

MODEL: STARFISH EXT. L

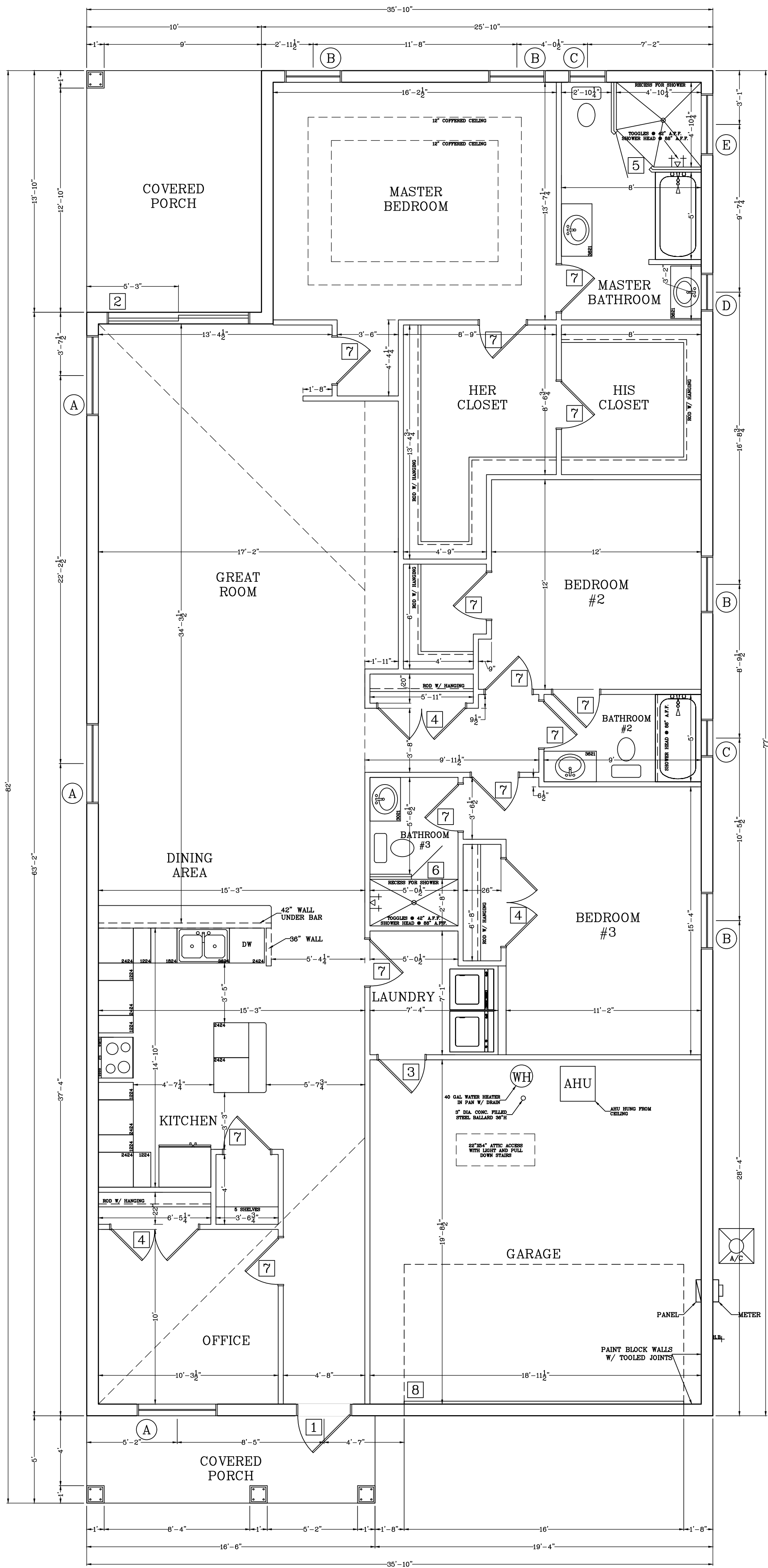
SCALE: 1/4" = 1' - 0"

DATE: 9.20.18

DRAWN BY: KLD

SHEET

1



WINDOW SCHEDULE		
INDEX	SIZE	DESCRIPTION
A	53" X 72"	SINGLE HUNG
B	37" X 72"	SINGLE HUNG
C	24" X 36"	SINGLE HUNG - OBSCURED
D	24" X 10"	FIXED GLASS
E	40" X 10"	FIXED GLASS
- ALL WINDOWS TO BE POT WHITE ESP ALUMINUM WINDOWS W/ TINT AND MULLIONS PER ELEVATIONS - ALL WINDOWS TO WITHSTAND PRESSURES STATED IN PERMIT INFORMATION BOX - ALL WINDOWS IN BATHROOMS TO BE SAFETY GLASS PER CODE - ALL WINDOWS WITHIN 16" OF FINISHED FLOOR TO BE TEMPERED		
DOOR SCHEDULE		
INDEX	SIZE	DESCRIPTION
1	3'-0" X 8'-0"	ENTRY DOOR
2	(2) 4'-0" X 8'-0"	SLIDING GLASS DOOR
3	2'-8" X 8'-0"	20 MIN FIRE DOOR
4	(2) 2'-6" X 6'-0"	MASONITE FOAM FILLED 6 PANEL
5	2'-6" X 8'-0"	TEMPERED GLASS SHOWER DOOR
6	2'-6" X 8'-0"	TEMPERED GLASS SHOWER DOOR
7	2'-8" X 8'-0"	MASONITE FOAM FILLED 6 PANEL
8	16'-0" X 8'-0"	STEEL GARAGE DOOR
- SEAL CONCRETE BLOCK AT DOOR AND WINDOW OPENINGS WITH CONCRETE SEALANT PRIOR TO BUCK INSTALLATION PER FBCR 703.4 - ALL EXTERIOR DOORS INCLUDING GARAGE DOORS TO WITHSTAND PRESSURES STATED IN PERMIT INFORMATION BOX ON THESE PLANS - PROVIDE ONE EXIT DOOR (SWING TYPE) THAT IS 3'-0" WIDE MINIMUM AND ONE EMERGENCY ESCAPE DOOR (NOT SHUTTERED). IF ESCAPE DOOR HAS GLAZING THEN IT MUST BE IMPACT RESISTANT AND SHALL NOT BE THRU GARAGE. THIS MAY BE THE SAME DOOR IF IT MEETS BOTH CRITERIA LISTED ABOVE. IF THE DOOR SWINGS OUT, THEN THE LANDING SHALL NOT BE MORE THAN 1 1/2' LOWER THAN THE TOP OF THE THRESHOLD		

SQUARE FOOTAGE BREAKDOWN:

UNDER AIR =	2221 SQ/FT
GARAGE =	400 SQ/FT
COVERED PORCH TOTAL =	222 SQ/FT
TOTAL =	2843 SQ/FT

WALL SYMBOL LEGEND	
	= CBS WALLS - CELLS TO BE FILLED WITH CONCRETE WITH (1) #6 BAR VERT. AT 48" O.C.
	= 2"x4" NON-BEARING STUD WALLS (SEE SECTIONS). INSULATE WITH R11 BATTS AT BATHROOMS AND BETWEEN A/C AND NON-A/C SPACES
	= 2"x4" LOAD-BEARING STUD WALLS (SEE SECTIONS). INSULATE WITH R-11 BATTS AT BATHROOMS AND BETWEEN A/C AND NON-A/C SPACES
	= 2"x8" STUD WALLS (SEE SECTIONS). INSULATE WITH R-19 BATTS AT BATHROOMS AND BETWEEN A/C AND NON-A/C SPACES

PRODUCT APPROVAL AFFIDAVIT						
OPENING TYPE	NO./PL. NUMBER	PRODUCT	MODEL #	MANUFACTURER	GLASS	ATTACHMENT METHOD
1	NDMF 17-0630.08	SINGLE HUNG	SH-700	POT	1/8" TYPE "H"	AT 16" O.C. IN ALL DIRECTIONS. IN ALL CASES, THE GLASS SHALL BE SECURED BY MEANS OF AN APPROVED FASTENER SYSTEM. THE FASTENERS SHALL BE OF A TYPE AND MATERIAL THAT WILL RESIST THE DESIGN PRESSURE OF THE WIND LOADS.
2	NDMF 17-0403.17	SLIDING GLASS DOOR	SSD-770	POT	1/8" TYPE "H"	AT 16" O.C. IN ALL DIRECTIONS. IN ALL CASES, THE GLASS SHALL BE SECURED BY MEANS OF AN APPROVED FASTENER SYSTEM. THE FASTENERS SHALL BE OF A TYPE AND MATERIAL THAT WILL RESIST THE DESIGN PRESSURE OF THE WIND LOADS.
3						
4	FLJ 17164.16	EXTERIOR DOOR	SPARKLE FIBERGLASS DOOR	PLASTIRO INC.		AT 16" O.C. IN ALL DIRECTIONS. IN ALL CASES, THE GLASS SHALL BE SECURED BY MEANS OF AN APPROVED FASTENER SYSTEM. THE FASTENERS SHALL BE OF A TYPE AND MATERIAL THAT WILL RESIST THE DESIGN PRESSURE OF THE WIND LOADS.
5	FLJ 17164.4	EXTERIOR DOOR	GLAZED FIBERGLASS DOOR	PLASTIRO INC.		AT 16" O.C. IN ALL DIRECTIONS. IN ALL CASES, THE GLASS SHALL BE SECURED BY MEANS OF AN APPROVED FASTENER SYSTEM. THE FASTENERS SHALL BE OF A TYPE AND MATERIAL THAT WILL RESIST THE DESIGN PRESSURE OF THE WIND LOADS.
6	FLJ 15371.1	STEEL OVERHEAD GARAGE DOOR	BSA/781 IMPACT SECTIONAL	DAB DOORS COMPANY INC.		AT 16" O.C. IN ALL DIRECTIONS. IN ALL CASES, THE GLASS SHALL BE SECURED BY MEANS OF AN APPROVED FASTENER SYSTEM. THE FASTENERS SHALL BE OF A TYPE AND MATERIAL THAT WILL RESIST THE DESIGN PRESSURE OF THE WIND LOADS.
ALL PRODUCT TESTING BY MIAMI-DADE COUNTY BUILDING CODE COMPLIANCE OFFICE / PRODUCT CONTROL DIVISION						
I HAVE REVIEWED THE ABOVE AND APPROVED IT BY MY SEAL BELOW						

PERMITTING INFORMATION (FORM 100)

2017 FLORIDA BUILDING CODE RESIDENTIAL: 6TH EDITION AND ASCE 7-10 FOR WIND LOADING

BUILDING DESIGN IS: ENCLOSED

RISK CATEGORY: II

WIND SPEED: 170 MPH ULTIMATE

MEAN ROOF HEIGHT: <25'

ROOF PITCH: 6:12

INTERNAL PRESSURE COEFFICIENT: ± 0.18

SUBJECTABILITY TO DAMAGE FROM: WEATHERING: YES TERMITES: YES

WIDTH OF ROOF END ZONE: 5'

WIND EXPOSURE CLASSIFICATION: C

ADJUSTMENT FACTOR FOR EXPOSURE HEIGHT USING ALLOWABLE STRESS DESIGN AND LOAD COMBINATION PER ASCE 7-10 SECTION 2.4 DL+LL; DL+0.6WL; 0.6DL+0.6WL

EXP HEIGHT ADJ FACTOR: X LOAD COMBO FACTOR 0.6 = APPLIED BELOW

COMPONENTS AND CLADDING WIND PRESSURE (NET)

COMPONENTS AND CLADDING END ZONE WIDTH: WALL ZONE: 4. SEE PLANS

COMPONENTS AND CLADDING WIND PRESSURE (NET) WALL ZONE: 5. SEE PLANS

COMPONENTS AND CLADDING WIND PRESSURE (NET) ON GARAGE DOOR: SEE PLANS

SHEAR WALLS CONSIDERED FOR STRUCTURE? YES

CONTINUOUS LOAD PATH PROVIDED? YES

MINIMUM SOIL BEARING PRESSURE: 2500 PSF PRESUMPTIVE: BY TEST: PSI

THIS BUILDING SHALL HAVE THE FOLLOWING:

APPROVED SHUTTERS: IMPACT GLASS: X BOTH: NEITHER:

END ZONE

TO THE BEST OF MY KNOWLEDGE, THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2017 FLORIDA BUILDING CODE 6TH EDITION.

Scott R. Sanders, P.E.
FL P.E. No. 64781

- GENERAL NOTES:
- WEATHERING AREA IS NEGLIGIBLE
 - TERMITE AREA IS VERY HEAVY
 - PROTECTION FROM TERMITES SHALL BE PROVIDED BY REGISTERED TERMITICIDES.
 - THE FLOOR OF THE GARAGE OR CARPORT SHALL BE SLOPED W/ NATURAL CONCRETE OR PAINTED WITH A NONCOMBUSTIBLE MATERIAL.
 - BEDROOMS SHALL HAVE AN EGRESS OPENING OF 5 SQUARE FEET. WINDOWS SHALL HAVE A 24" CLEAR HEIGHT WITH A 20" NET CLEAR WIDTH OR GREATER. MAXIMUM SILL HEIGHT IS 44" FROM FINISH FLOOR.
 - ALL EXIT DOORS SHALL HAVE A LIGHT W/ A PLAT 36" X 36" LANDING.
 - INSULATION MATERIALS SHALL HAVE A FLAME SPREAD NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPMENT INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84. ALL EXPOSED ATTIC INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX (IN ACCORDANCE WITH ASTM E 970) NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER.
 - A VAPOR RETARDER SHALL BE INSTALLED IN THE WARM WINTER SIDE OF THE INSULATION. SHOULD BLOWN INSULATION BE USED IN THE ATTIC, A VAPOR RETARDER MUST BE USED.
 - ALL WOOD-FRAMING MEMBERS RESTING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH FASTENERS OF HOT-DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL. PROTECTION FROM DECAY SHALL BE REQUIRED PER FBC R-319.1.
 - ACCESSIBILITY DOORS SHALL HAVE A 20" MIN. CLEARANCE.
 - THE SITE ADDRESS OR NUMBERS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - AT LEAST ONE BATHROOM SHALL HAVE A MINIMUM OF A 29" CLEAR OPENING.
 - ALL STRUCTURE FOOTERS SHALL BE A MINIMUM OF 12" BELOW GRADE.
 - FOUNDATION STEEL (#5 BARS) SHALL HAVE A MINIMUM OF 3" OF COVER.
 - A CONTINUOUS PATH FROM FOUNDATION TO ROOF SHALL BE PROVIDED PER DETAILS AND CONNECTIONS SPECIFIED.
 - ROOF AND WALL COMPONENT AND CLADDING LOADS ARE SHOWN IN THE DESIGN CRITERIA.
 - SHUTTERS OR IMPACT GLASS IS REQUIRED FOR PROTECTION OF OPENINGS FOR THIS RESIDENCE PER SECTION R301.2.1.2 OF THE FLORIDA RESIDENTIAL BUILDING CODE.
 - INTERIOR AND BEARING AND NON-BEARING FRAMED WALLS SHALL USE STUD GRADE LUMBER SPACED AT 16" O.C.
 - FRAMED BEARING WALLS SHALL BE BRACED WITH 2X4S @ A MAXIMUM OF 8' O.C.
 - ROOF SHEATHING SHALL BE 1/2" CDX AND HAVE A SPAN RATING OF 16/24 AND NAILED WITH 8D RING OR SCREW TYPE NAILS (2 1/4" X 131") AT 6" O.C. ON THE SEAMS AND 8" O.C. IN THE FIELD U.N.O.
 - ACCESS OPENING SHALL BE A MINIMUM OF 16" X 24" AND SHALL NOT BE UNDER AN EXTERIOR DOOR OR LOCATED BEHIND AN EXTERIOR FIXTURE.
 - ALL NAILS SHALL BE HOT DIPPED GALVANIZED OR BETTER.
 - ALL SIMPSON FASTENERS SHALL BE 2-MAX WITH HOT-DIPPED GALVANIZED COMMON NAILS OR BETTER.
 - ALL BEARING WALLS SHALL HAVE A SIMPSON SPH4/6 PLACED TOP AND BOTTOM OF FRAMED WALL AT 16" O.C. HEADERS OVER 4" SHALL BE STRAPPED TO JACKS W/ SIMPSON MSTA24 AT ENDS W/ 8-104 NAILS PER SIDE. HEADERS UNDER 4" SHALL BE STRAPPED W/ SIMPSON LSTA18 W/ 7-104 NAILS PER END. EACH JACK SHALL HAVE A 1/2" SA @ THE BOTTOM PLATE.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROOF PITCH.
 - NO SCREWS SHALL BE USED IN THE PLYWOOD SHEATHING OR WOOD MEMBERS OR ANY SIMPSON PRODUCTS UNLESS SPECIFIED IN THESE PLANS OR FROM THE MANUFACTURER.
 - ROOF RAIN WATER SHALL BE DIVERTED FROM SEPTIC FIELD.

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TRANSMITTED IN ANY FORM OR
BY ANY MEANS, INCLUDING BUT NOT
LIMITED TO ELECTRONIC, MECHANICAL,
PHOTOCOPYING, RECORDING, OR BY
ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF
MEDALIST BUILDING GROUP, LLC.

MEDALIST BUILDING GROUP, LLC
PO BOX 1097
Palm City, FL 34991
QB55703

Phone: 772-287-2010
Fax: 772-287-4010

(LOT 23) 1515 SE 5TH ST
STUART, FL 34994

SHEET DESCRIPTION:
FLOOR PLAN

ADDRESS:

MADE BY: DATE:

REVISION:

MODEL: STARFISH EXT. R

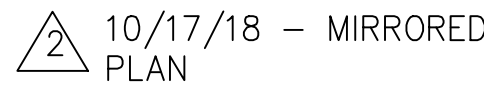
SCALE: 1/4" = 1'-0"

DATE: 9.20.18

DRAWN BY: KLD

SHEET

2



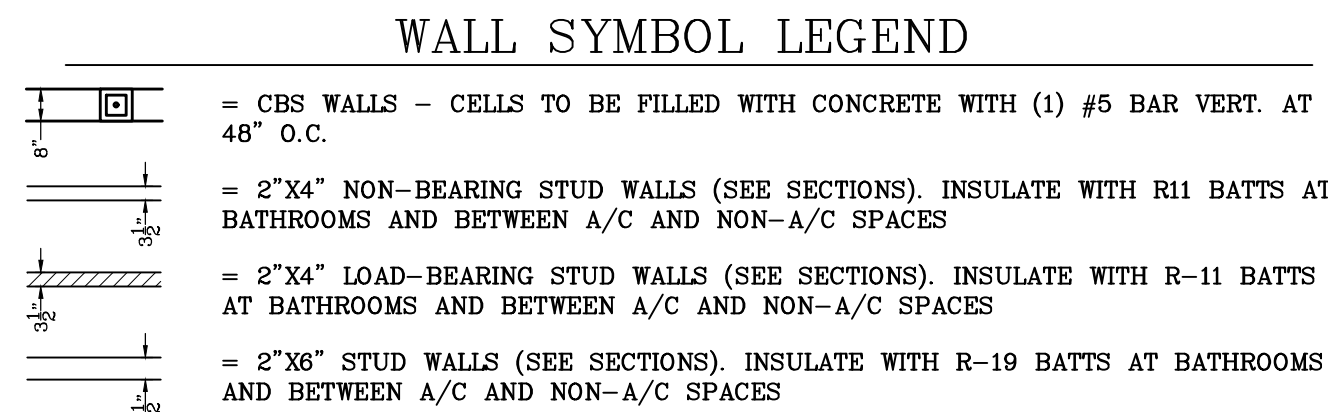
DOOR SCHEDULE		
INDEX	SIZE	DESCRIPTION
1	3'-0" X 8'-0"	ENTRY DOOR
2	(2) 4'-0" X 8'-0"	SLIDING GLASS DOOR
3	2'-8" X 8'-0"	20 MIN FIRE DOOR
4	(2) 2'-0" X 8'-0"	MASONITE FOAM FILLED 6 PANEL
5	2'-8" X 8'-0"	TEMPERED GLASS SHOWER DOOR
6	2'-8" X 8'-0"	TEMPERED GLASS SHOWER DOOR
7	2'-8" X 8'-0"	MASONITE FOAM FILLED 6 PANEL
8	16'-0" X 8'-0"	STEEL GARAGE DOOR

-SEAL CONCRETE BLOCK AT DOOR AND WINDOW OPENINGS WITH CONCRETE SEALANT PRIOR TO BUCK INSTALLATION PER FBCR 703.4

-ALL EXTERIOR DOORS INCLUDING GARAGE DOORS TO WITHSTAND PRESSURES STATED IN PERMIT INFORMATION BOX ON THESE PLANS

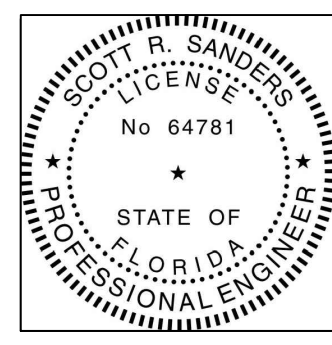
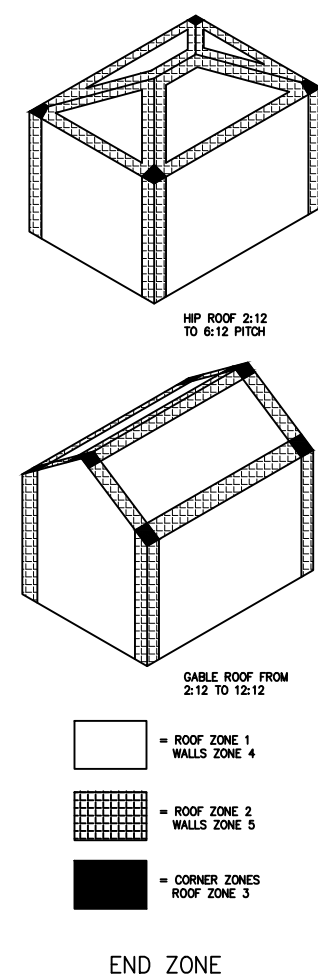
-PROVIDE DOOR WITH GLAZING THAT IS 3'-0" WIDE MINIMUM AND ONE EMERGENCY ESCAPE DOOR (NOT SHUTTERED). IF ESCAPE DOOR HAS GLAZING THEN IT MUST BE IMPACT RESISTANT AND SHALL NOT BE THRU GARAGE. THIS MAY BE THE SAME DOOR IF IT MEETS BOTH CRITERIA LISTED ABOVE. IF THE DOOR SWINGS OUT, THEN THE LANDING SHALL NOT BE MORE THAN 1 1/2' LOWER THAN THE TOP OF THE THRESHOLD

UNDER AIR =	2221 SQ/FT
GARAGE =	400 SQ/FT
COVERED PORCH TOTAL =	222 SQ/FT
TOTAL =	2843 SQ/FT

[illegible]

2017 FLORIDA BUILDING CODE RESIDENTIAL: 6TH EDITION AND ASCE 7-10 FOR WIND LOADING
BUILDING DESIGN IS: ENCLOSED
RISK CATEGORY: II
WIND SPEED: _170_MPH ULTIMATE
MEAN ROOF HEIGHT: _<25'_
ROOF PITCH: _6:12_
INTERNAL PRESSURE COEFFICIENT: $\pm$ _0.18_
SUBJECTABILITY TO DAMAGE FROM: WEATHERING: _YES_ TERMITES: _YES_
WIDTH OF ROOF END ZONE: _5'_
WIND EXPOSURE CLASSIFICATION: _C_
ADJUSTMENT FACTOR FOR EXPOSURE HEIGHT USING ALLOWABLE STRESS DESIGN AND
LOAD COMBINATION PER ASCE 7-10 SECTION 2.4 DL+LL; DL+0.6WL; 0.6DL+0.6WL
EXP HEIGHT ADJ FACTOR: _____ X LOAD COMBO FACTOR 0.6 = _____ APPLIED BELOW
COMPONENTS AND CLADDING WIND PRESSURE (NET) ROOF ZONE: 1. + 16.0/-26.0 PSF
ROOF ZONE: 2. + 16.0/-45.0 PSF
ROOF ZONE: 3. + 16.0/-66.0 PSF

COMPONENTS AND CLADDING END ZONE WIDTH: _____ WALL ZONE: 4. SEE PLANS
COMPONENTS AND CLADDING WIND PRESSURE (NET) _____ WALL ZONE: 5. SEE PLANS
COMPONENTS AND CLADDING WIND PRESSURE (NET) _____ ON GARAGE DOOR: SEE PLANS
SHEAR WALLS CONSIDERED FOR STRUCTURE? YES
CONTINUOUS LOAD PATH PROVIDED? YES
MINIMUM SOIL BEARING PRESSURE: 2500 PSF PRESUMPTIVE: _____ BY TEST: _____ PSI
THIS BUILDING SHALL HAVE THE FOLLOWING:
APPROVED SHUTTERS: _____ IMPACT GLASS: X _____ BOTH: _____ NEITHER: _____



THIS DOCUMENT HAS BEEN ELECTRONICALLY
SIGNED AND SEALED USING A DIGITAL
SIGNATURE. PRINTED COPIES OF THIS
DOCUMENT ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

TO THE BEST OF MY KNOWLEDGE,
THIS STRUCTURE HAS BEEN
DESIGNED IN ACCORDANCE WITH
SECTION 1609 OF THE 2017
FLORIDA BUILDING CODE 6TH
EDITION.

Scott R. Sanders, P.E.
FL P.E. No. 64781

1. WEATHERING AREA IS NEGLECTIBLE
2. THERMITE AREA IS VERY HEAVY
3. PROTECTION FROM TRAFFIC SHALL BE PROVIDED BY REGISTERED TERMITECIDES.
4. THE FLOOR OF THE GARAGE OR CARPORT SHALL BE SLOPED W/ NATURAL
5. 1/2" DRAIN PAINTED TO THE EXTERIOR
6. BEDROOMS SHALL HAVE AN EGRESS OPENING OF 5 SQUARE FEET WINDOWS
7. SHALL HAVE A 24" CLEAR HEIGHT WITH A 20" NET CLEAR WIDTH OR GREATER
8. ALL EXIST DOORS SHALL HAVE A LIGHT W/ A FLAT PLATE X 36" LANDING.
9. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD NOT TO EXCEED 25 WITH
10. A MAXIMUM OF 10% FUMES. ALL INSULATION SHALL BE PROPERLY TESTED
11. IN ACCORDANCE WITH ASTM E84. ALL EXPOSED ATTIC INSULATION
12. MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX
13. INDEX OF 0.12 OR LESS PER CENTIMETER.
14. INSULATION SHALL BE INSTALLED IN THE WARM WINTER SIDE OF THE
15. INSULATION SHOULD BLOW INSULATION BE USED IN THE ATTIC, A VAPOR
16. RETARDER MUST BE USED
17. ALL FRAMING MEMBERS RESTING ON CONCRETE OR MASONRY SHALL BE
18. PRESSURE TREATED WITH FASTENERS OF HOT-DIPPED ZINC COATED GALVANIZED
19. STEEL OR STAINLESS STEEL. PROTECTION FROM DECAY SHALL BE REQUIRED PER
20. F.P.I.
21. ACCESSIBILITY DOORS SHALL HAVE A 29" MIN. CLEARANCE.
22. ALL STAIRS AND RAMPWAYS SHALL BE EASILY VISIBLE AND LEGIBLE FROM
23. THE STREET OR ROAD FRONTING THE PROPERTY.
24. AT LEAST ONE BATHROOM SHALL HAVE A MINIMUM OF A 29" CLEAR OPENING.
25. ALL STAIRS AND RAMPWAYS SHALL BE EASILY VISIBLE AND LEGIBLE FROM
26. THE STREET OR ROAD FRONTING THE PROPERTY.
27. FOUNDATION STEEL (#5 BARS) SHALL HAVE A MINIMUM OF 3" OF COVER.
28. A CONTINUOUS PATH FROM FOUNDATION TO ROOF SHALL BE PROVIDED PER
29. D.E.C. 26-1.01 CONSTRUCTION
30. ROOF AND WALL COMPONENT AND CLADDING LOADS ARE SHOWN IN THE DESIGN
31. CRITERIA.
32. ROOF OR IMPACT GLASS IS REQUIRED FOR PROTECTION OF OPENINGS FOR
33. THIS RESIDENCE PER SECTION R301.2.1.2 OF THE FLORIDA RESIDENTIAL BUILDING
34. CODE.
35. INTERIOR AND BEARING AND NON-BEARING FRAMED WALLS SHALL USE STUD
36. GRADE NUMBER SPACED AT 16" O.C.
37. ALL STUDS IN BEARING WALLS SHALL BE BRACED WITH 2X4S @ A MAXIMUM OF 8' O.C.
38. ROOF SHEATHING SHALL BE #2 CDX AND HAVE A SPAN RATING OF 16/24 AND
39. NAILED WITH 6D RING OR SCREW TYPE NAILS (2 1/2" X 131") AT 6" O.C. ON THE
40. 16/24 @ 6" O.C.
41. ACCESS OPENING SHALL BE A MINIMUM OF 16" X 24" AND SHALL NOT BE
42. UNDER AN EXTERIOR DOOR OR LOCATED BEHIND AN EXTERIOR FICTURE.
43. ALL STUDS SHALL BE 16" O.C. UNLESS OTHERWISE SPECIFIED.
44. ALL SIMPSON FASTENERS SHALL BE 2-X MAX WITH 4/6 PLATED GALVANIZED
45. COMMON NAILS OR BETTER.
46. ALL WALLS SHALL HAVE A SIMPSON SPH46/H- TOPPED TOP AND BOTTOM
47. OF FRAMED WALL AT 16" O.C. HEADERS OVER 4" SHALL BE STRAPPED TO JACKS
48. W/ SIMPSON M52424 AT ENDS W/ 8-104 LIPS PER SIDE. HEADERS UNDER 4"
49. SHALL BE STRAPPED TO JACKS W/ 8-104 LIPS PER END. EACH JACK
50. SHALL HAVE A H25.6 @ THE BOTTOM PLATE.
51. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROOF PITCH.
52. ALL ROOFING SHALL BE 12 GA. GALV. STEEL OR EQUIVALENT OR WOOD MEMBERS
53. OR ANY SIMPSON PRODUCTS UNLESS SPECIFIED IN THESE PLANS OR FROM THE
54. MANUFACTURER.
55. ROOF RAIN WATER SHALL BE DIVERTED FROM SEPTIC FIELD.

MEDALIST BUILDING GROUP, LLC
PO BOX 1097
Palm City, FL 34991
QB55703

Phone: 772-287-2010
Fax: 772-287-4010

Medalist
Building Group, LLC

(LOT 22) 1515 SE 5TH ST
STUART, FL 34994

SHEET DESCRIPTION:

FLOOR PLAN

MADE BY:	DATE:	ADDRESS:
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REVISION:
10/17/18 - MIRRORED
PLAN

MODEL: / STARFISH EXT. R

SCALE: $\frac{1}{4}" = 1' - 0"$

DATE: / 9.20.18

DRAWN BY: / KLI

SHEET

2

Prepared by:

South Florida Title Services, Inc.
213 E. Ocean Blvd
Stuart, Florida 34994

File Number: S-18508

Warranty Deed

Made this September 25, 2018 A.D. By Laura Leighton, LLC, a Florida Limited Liability Company, whose address is: P.O. Box 1273, Stuart, Florida 34995, hereinafter called the grantor, to Medalist Homes, LLC, a Florida Limited Liability Company, whose post office address is: P.O. Box 1067, Palm City, Florida 34991, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lots 22, Block 29, BROADWAY SECTION OF ST. LUCIE ESTATES SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 1, page 4, and half of the adjacent closed alley as stated in Ordinance 591 abandoning and vacating all alleyways in Block 29, recorded in Official Records Book 699, page 1132, of the Public Records of Martin County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2017.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:
(2 separate, disinterested witnesses)

Witness #1
Printed Name: Richard Kozell
Witness #2
Printed Name: Martha Alexis

Laura Leighton, LLC
Address: P.O. Box 1273, Stuart, Florida 34995

Laura Leighton (Seal)
By: Laura K. Leighton, Manager
Address: P.O. 1273, Stuart, Florida 34995

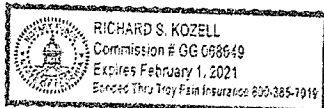
State of Florida

County of Martin

The foregoing instrument was acknowledged before me this 25th day of September, 2018, by Laura K. Leighton, of Laura Leighton, LLC, who is/are personally known to me or who has produced

as identification.

(SEAL)



Richard Kozell
Notary Public

Print Name: Richard Kozell

My Commission Expires: _____

Prepared by:

South Florida Title Services, Inc.
213 E. Ocean Blvd
Stuart, Florida 34994

File Number: S-18508

Warranty Deed

Made this September 25, 2018 A.D. By Leighton Construction, LLC, a Florida Limited Liability Company, whose address is: P.O. Box 1273, Stuart, Florida 34995, hereinafter called the grantor, to Medalist Homes, LLC, a Florida Limited Liability Company, whose post office address is: P.O. Box 1067, Palm City, Florida 34991, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lots 23, Block 29, BROADWAY SECTION OF ST. LUCIE ESTATES SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 1, page 4, and half of the adjacent closed alley as stated in Ordinance 591 abandoning and vacating all alleyways in Block 29, recorded in Official Records Book 699, page 1132, of the Public Records of Martin County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2017.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:
(2 separate, disinterested witnesses)

Witness #1

Printed Name

Witness #2

Printed Name

Leighton Construction LLC

Address: P.O. Box 1273, Stuart, Florida 34995

By: John S. Leighton, III, Manager

Address: P.O. 1273, Stuart, Florida 34995

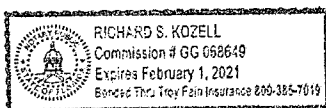
(Seal)

State of Florida

County of Martin

The foregoing instrument was acknowledged before me this 25th day of September, 2018, by John S. Leighton, III, of Leighton Construction, LLC, who is/are personally known to me or who has produced _____ as identification.

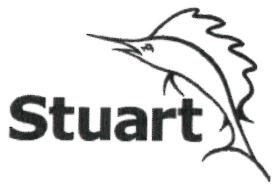
(SEAL)



Notary Public

Print Name: Richard S. Kozell

My Commission Expires: _____



City of Stuart
121 SW Flagler Ave
Stuart, FL 34994

Received by: _____
Reviewed by: _____
Approved by: _____

(772) 288-5326
Variance Application
Project ID# _____

(Staff Entry)

Pre-App Conference Date:	Application Date:
Project Name:	
Parcel ID# 03-38-41-023-029-00220-4	Project Address: 1515 SE 5th Street, Stuart, FL 34996
Zoning/CRA Sub-district: R-1	
Subdivision: St. Lucie Estates	Lot(s): 22 and 23
Fee: \$204.80/Administrative Variance Approval or \$819.20/Board of Adjustment Approval (This does not include fees that may be charged as a result of application review by the City's consultants)	
The Board of Adjustment may grant a variance from the strict application of the following dimensional requirements of the city land development regulations and the city Code of Ordinances: (1) lot area requirements; minimum yard setbacks; setbacks, building separation and heights for accessory structures; finished floor elevation; satellite television antenna systems; fences, walls, hedges and enclosures; and setback requirements for location of swimming pools. The City's Development Director may grant an administrative variance for the following standards of the land development code: (1) Yard setbacks. Any yard setback variance request which does not exceed 110 percent of the code requirement. (For example: where a rear yard setback is 15 feet, and the variance request doesn't exceed 1.5 feet of relief or a reduction to a 13.5-foot setback.) (2) Fences, walls and hedges. Any variance request for a fence, wall or hedge height or location, or other buffer screening matter. (3) Other minor code variances and minor site plan amendments. Any other minor technical or land use code variance (but not including setback variances covered above) or any minor site plan revision or amendment for items including, but not limited to, those affecting drainage, easements, bulkheads, docks, flood elevation, curbing and curb-cuts, medians, solid waste collection, principal or accessory structures or lots, signage, landscape, lighting, parking, driveways, or utilities; and including a change of use from one permitted use to another permitted use. A minor code variance or site plan revision is one in which the requested change: 1. Does not increase or enlarge the density, intensity of use, footprint, or any dimension of the overall plan by more than five percent; and 2. Does not increase or enlarge the exterior "footprint" of commercial, industrial or multi-family residential buildings by more than 1,000 square feet of building, or more than 1,000 square feet of additional impervious area; or 3. Does not increase or enlarge the "footprint" of single family or small multi-family (four or fewer dwelling units) buildings by more than 360 square feet of building, or no more than 360 square feet of additional impervious area is requested; and 4. Where the scope and intent of any variance approved by the board of adjustment, or scope and intent of any site plan previously approved by the city commission is not violated.	
Submittal Requirements: A completed application form, the payment of fees, one (1) copy of all documents on a PDF formatted disc electronically signed and sealed, a site plan, and any other information as may be required by the City Development Director in order to do a thorough review of the request. The data requirements for a site plan are available at the Development Department.	
Approving Authority: The Development Director is required to prepare a staff report and recommendation concerning this application for the Board of Adjustment (BOA) public hearing.	
Justification: Please provide justification supporting the request for a variance (include additional pages if needed).	

(over)

General Information

(Please Print or Type)

1. Property Owner, Lessee, Contract Purchaser, or Applicant (circle one):

Name:	Jeremy Lemaster
Title:	MGMR
Company:	Medalist Homes, LLC
Company Address:	PO Box 1067

City/State/Zip Code:	Palm City, FL 34991
Telephone Number:	(772) 287 - 2010
Facsimile Number:	(772) 287 - 4010
Email Address (optional):	Planning@MedalistBuildingGroup.com

2. Agent of Record (if any): The following individual is designated as the Agent of Record for the property owner, lessee, or contract purchaser and should receive all correspondence related to the application review.

Name:	Ella Taylor
Title:	Director of Land Planning
Company:	Medalist Building Group, LLC
Company Address:	PO Box 1067

City/State/Zip Code:	Palm City, FL 34991
Telephone Number:	(772) 287 - 2010
Facsimile Number:	(772) 287 - 4010
Email Address (optional):	Planning@MedalistBuildingGroup.com

3. The Undersigned, as the Property Owner, Lessee, Contract Purchaser, or Applicant (circle one), acknowledges responsibility for all City expenses associated with the referenced application (s) including time spent by the City's consultants and further acknowledges that payment of consultant fees will be made prior to the receipt of the consultant comments.

Name:	Jeremy Lemaster
Title:	MGMR
Company:	Medalist Homes, LLC
Company Address:	PO Box 1067

City/State/Zip Code:	Palm City, FL 34991
Telephone Number:	(772) 287 - 2010
Facsimile Number:	(772) 287 - 4010
Email Address (optional):	Planning@MedalistBuildingGroup.com

I hereby certify that all information contained herein is true and correct.

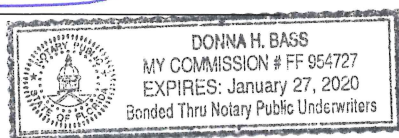
4. Signed this 16 day of January, 2019.

Signature of Property Owner, Lessee, Contract Purchaser or Applicant

State of Florida, Martin County The foregoing instrument was acknowledged before me on this 16 day of

January 2019 by Jeremy Lemaster who is personally known to me, or who has produced
as identification and who did/did not take an oath.

Notary Signature



Commission expires:

N
SCALE 1" = 100'

BROADWAY OF SECTION ST LUCIE ESTATES SUBDIVISION

This is a true copy of the Original Plat of Record
of "BROADWAY SECTION OF ST. LUCIE ESTATES" Plat Book 1,
Page 4, MARTIN COUNTY, FLORIDA.

Paul J. Stafford
REGISTERED LAND SURVEYOR
FLORIDA CERTIFICATE No. 443

BEING THE WEST HALF OF THE
SOUTHEAST QUARTER OF
SECTION 3-TWP. 38-SOUTH, RANGE 41 EAST.

STATE OF FLORIDA } 55
COUNTY OF MARTIN }
This instrument was filed for
Record at 3:24 PM this 29th day of Oct.
1925 and duly recorded on the 29th
day of Oct. 1925 in Book 1 of Plats
on Page 4, Record Verified.
J. R. Pomeroy
CLERK CIRCUIT COURT
BY: *J. R. Pomeroy*
DEPUTY CLERK



Stuart, Florida
Recommended to the City
Commission of Stuart, Florida,
for their approval.
The Stuart Planning Board
W. H. Spence
Chairman
Attest: *E. J. Carley*
Secretary

STATE OF FLORIDA } 55
COUNTY OF MARTIN }
Before me personally appeared *Wm. H. Roat* and *R. S. Roat* to me well
known to be the persons who executed the foregoing instrument and who
acknowledged to and before me that they executed the same for the
uses and purposes herein expressed.

Helen M. Willis
Notary Public State of Florida
My Commission Expires June 7 1929

STATE OF FLORIDA } 55
COUNTY OF MARTIN }
KNOW ALL MEN BY THESE PRESENTS that the Roat Concern, Inc., a corporation
created and existing under the laws of the State of Florida, has surveyed
and platted the tract of land the plat of which is shown herein, and
which is dedicated above and the measurements and angles are
correct to the best of our knowledge and belief.

IN WITNESS WHEREOF the said corporation has caused these presents
to be executed by its President under its corporate seal this 20 day
of October A.D. 1925

THE ROAT CONCERN, INC.
By: *Wm. H. Roat*
President
Attest: *R. S. Roat*
Secretary

Approved by the City Commission of Stuart, Fla.

Attest: *Florida R. Spence*
City Clerk

Stuart Florida November 7th 1925
Checked with the present streets and the City requirements
and recommended to the City Commission for their approval

R. J. Enry
City Engineer

STATE OF FLORIDA } 55
COUNTY OF MARTIN }
Before me personally appeared *Carroll Dunscombe* and *W. J. Sherman*
to me well known to be the persons who executed the foregoing instrument
and who acknowledged to and before me that they executed the same for the
uses and purposes herein expressed.

IN WITNESS WHEREOF I hereunto set my hand and affix my
official seal this 28th day of October A.D. 1925 STUART, FLORIDA

Helen M. Willis
Notary Public State of Florida
My commission expires June 7 1929

Approved By

Wm. H. Roat
County Surveyor

STATE OF FLORIDA } 55
COUNTY OF MARTIN }
KNOW ALL MEN BY THESE PRESENTS that the undersigned the St. Lucie Estates
Inc. a corporation created and existing under the laws of the State of Florida
has surveyed and platted the tract of land herein shown, being the west
half of Section 3, Township 38 S., Range 41 E., and has caused the same to be surveyed
and platted for the perpetual use of the public the streets and avenues
herein shown.

SIGNED, SEALED AND DELIVERED IN THE
PRESENCE OF
R. S. Roat
A. R. Johnson

ST. LUCIE ESTATES, INC.
Carroll Dunscombe
President

L. S. Tinsell
Ed. L. L. L.

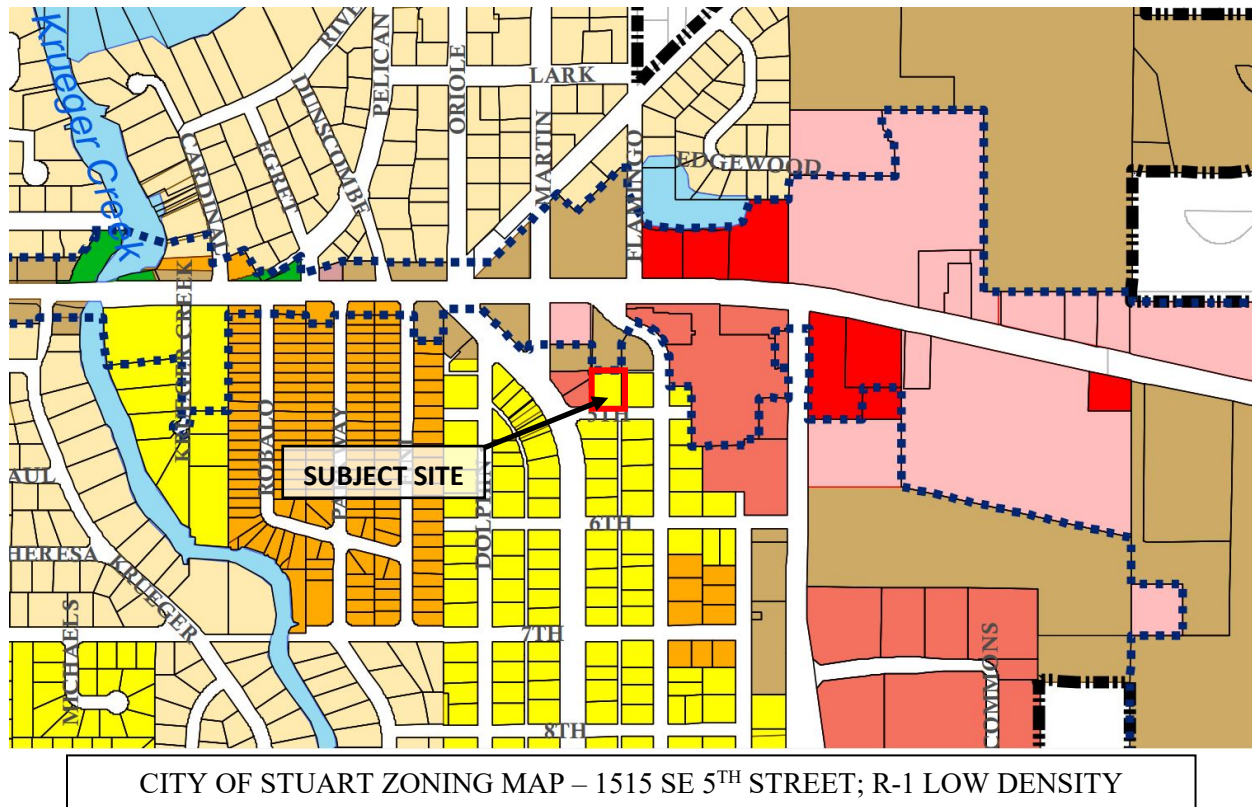
Attest: *W. J. Sherman*
Secretary

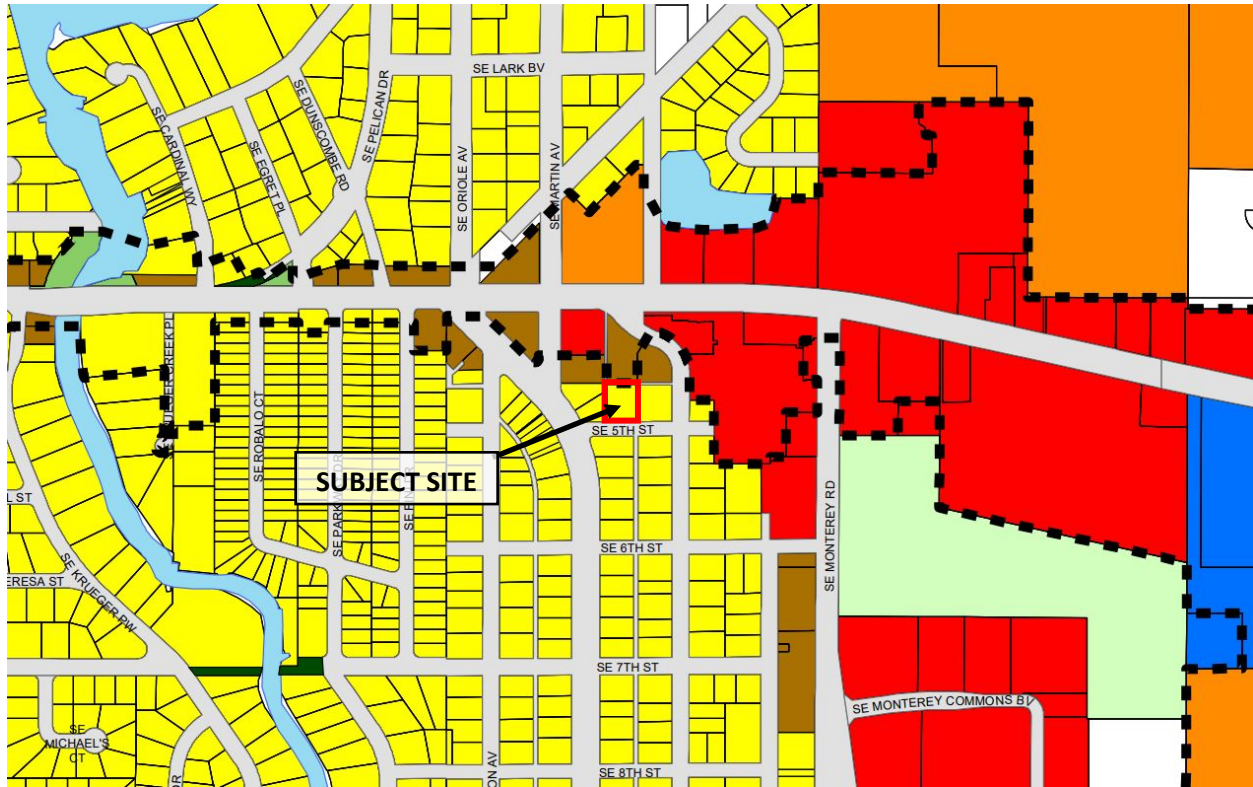
Background

The proposed sites are located at 1515 SE 5th Street within the City of Stuart, lots 22 and 23 (PCN: 05-38-41-001-000-00890-5). The sites are approximately 0.16 acres in size and fall within the R-1 (Single Family General) district with a Low Density Residential Future Land Use designation. Lot 22 was purchased on obtained on September 25th of 2018 by Medalist Homes LLC who remains as the current owner. Lot 23 was purchased and obtained on September 25th of 2018 by Medalist Homes LLC who remains as the current owner as well. The two (2) lots will be individually developed with a single-family residence and sold individually.

Zoning and FLU

The existing zoning district is R-1, Single Family General, with a FLU designation of Low Density Residential. The zoning and FLU are consistent. The Zoning permits the development of single-family residences in this district and is compatible with the Cottage Lot provisions specified in the City of Stuart Land Development Regulations - Chapter 2, Section 2.05.02.





CITY OF STUART FLU MAP – 1515 SE 5TH STREET; LOW DENSITY RESIDENTIAL

Surrounding Land Uses

The proposed sites are located within a residential area and fall outside of the CRA overlay for SE Ocean Boulevard. The property abutting lot 23 on its Westerly boundary is Commercial PUD and is currently vacant. Further West past the Commercial PUD zoning is the same R-1 zoning district on lots 1-24. The property abutting lot 22 on its Easterly boundary is R-1 and is currently developed with a single-family residential home. To the South of both lots 22 and 23 also lies lots within the R-1 zoning district which are each developed with single family residences. To the North of both lots 22 and 23 is R-3 (Residential – Multi-Family Duplex). The lots that fall within the R-1 district within close proximity to lots 22 and 23 are all developed with single family residential homes. The proposed development on the sites is consistent with the surrounding land uses and zoning. Refer to the graphics below.

Justification

LDR – DEVELOPMENT STANDARDS	REQUIRED	PROVIDED – Lot 22	Provided – Lot 23
Minimum Lot Area	No minimum	0.16 Acres	0.16 Acres
Minimum Lot Width	No minimum	55'	55'
Building Coverage	No minimum	41% (2,843 SF)	41% (2,843 SF)
Maximum Impervious Surface Coverage	50%	47% (3,254 SF)	47% (3,254 SF)
Pervious Surface	No minimum	52% (3,620 SF)	52% (3,620 SF)
Open Space	No minimum	52% (3,620 SF)	52% (3,620 SF)
Minimum Front Setback	25' (20' With Front Porch)	20' (With Front Porch)	20' (With Front Porch)

Minimum Side Setback	7.5'	9.59' West; 9.58' East	9.59' West; 9.58' East
Minimum Rear Setback	15'	30.48'	30.50'
Maximum Building Height	35'	23'6.5"	23'6.5"
Maximum Number of Stories	3	1	1
Density	7 units per acre	1	1
FAR	N/A	0.41	0.41

In the R-1 Zoning District the development of single-family residences on lots that meet the cottage lot dimensional requirements are permitted by right. The proposed single-family residence on Lot 22 and the proposed single-family residence on Lot 23 meet the City of Stuart Land Development Code's development standards specified in Chapter II Section 2.05.00. Additionally, the R-1 zoning district permits a maximum of seven (7) dwelling units per acre (Section 2.03.05. Table 3) which permits 2.31 units over the 0.33-acre lot 22 and lot 23. Two (2) units over this parcel would be permissible by right according to City of Stuart's Land Development Regulations.

However, according to Chapter II Section 2.04.02.B – *Adjoining lots of record*, “If two or more adjoining lots with continuous frontage are in a single ownership at any time and such lots individually are less than the lot width requirements for the zone in which they are located, such groups of lots shall be considered as a single lot or several lots of minimum permitted size and the resulting lot or lots shall be subject to the dimensional requirements of this chapter.”

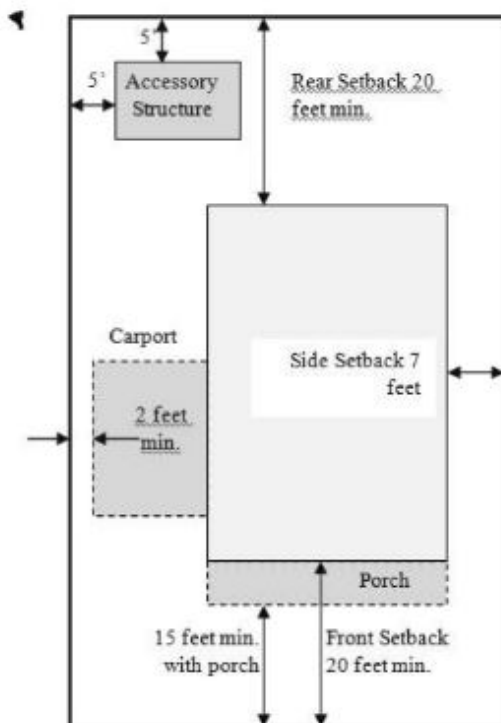
We respectfully request for a variance from Chapter II Section 2.04.02.B to allow the one (1) lot to revert to the original two (2) lots platted back in 1925 for the purpose of selling or leasing out each lot individually as cottage lots. The hardship is not self-created in that the Chapter II Section 2.04.02.B code section does not allow lots similarly situated to the subject site to remain as they were originally platted as individual lots. Due to this, the applicant is not permitted to pursue the development of both lots individually, even though the zoning district permits this type of development with no restrictions. The approval of this variance will allow the development of two (2) single family homes instead of one (1). The approval of this variance will also allow the development of other lots in this predicament and add to the city's housing availability.

The development of these two (2) lots individually will be beneficial to the overall character of the community and is consistent with the surrounding properties and consistent with the LDR. The surrounding properties both to the west and to the south of the subject site are similarly sized and developed Lots 18-19, 20-21, 22-24, 27-28 to the west of the subject site all fall under the required 7,500 square feet for lots in the R-1 zoning district.

The subject site is similar to the surrounding lots in that the two (2) proposed lots are also under the required 7,500 square feet in the R-1 district but are conforming to the cottage lot criteria which is specified on page four (4). Lot 22 and Lot 23 respectively meet the size criteria specified in the Cottage Lots section of the LDR and are therefore conforming to the Cottage Lot use which is permitted under the R-1 zoning district.

Again, we respectfully request to be granted a variance from the conflicting code section so that these two (2) lots, lot 22 and lot 23, can be developed separately.

BUILDING FORM STANDARD COTTAGE LOTS



Siting

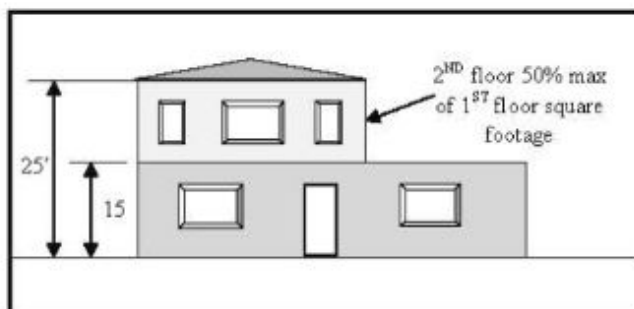
- No minimum lot size requirement.
- No minimum lot width requirement.
- Front building setback a minimum of 20 feet or the average setback along the street (excludes front setbacks in excess of 50 feet).
- Side building setback a minimum of 7 feet.
- Rear building setback a minimum of 20 feet.
- Front setback encroachment of up to 5 feet allowed for a porch provided.
- Maximum impervious surface of 65% allowed provided requirements of Sec. 2.04.03 are met.

Accessory Structures

- No accessory dwelling units allowed.
- Limited to single story and 12 feet in height.
- Subject to General Standards and Requirements found in Sec. 6.09.02.A-D
- Limited to a maximum 2 car garage with a maximum of 440 square feet.

Allowable Setback Encroachment

- Front porch with no enclosed floor area may encroach up to 5 feet into front setback.
- Driveways and carports or other open-sided structure may encroach up to 5 feet provided there is no habitable structure above.



Principal Building Requirements

- Maximum first floor building height 15 feet.
- Maximum second story height 25 feet.
- Building height measurement must comply with Sec. 2.04.07.A of the City of Stuart Land Development Code.
- 2 story maximum.
- First floor gross living floor area (under air) not to exceed 30% of lot square footage.
- Second story allowed, but shall not exceed 50% of first floor square footage.

Use Specifications

- Single-family residential structures.
- Accessory structures incidental to principal use.
- Home Occupations (as defined in the LDC)