



AGENDA

LOCAL PLANNING AGENCY

JUNE 19, 2025

AT 5:30 PM

COMMISSION CHAMBERS

121 SW FLAGLER AVE.

STUART, FLORIDA 34994

LOCAL PLANNING AGENCY

Chair - Kelly Laurine

Vice Chair - Deana Peterson

Board Member - Werner Bols

Board Member - Margaret Bromfield

Board Member - Ryan Strom

Board Member - Lance Vogl

Board Member - Vacant

Ex Officio Board Member - Mark Sechrist

ADMINISTRATIVE

Development Director - Jodi Kugler

Board Secretary - Susej T. Meleqi

Agenda items are available on our website at <http://www.cityofstuart.us>
Phone: (772) 288-5306. Fax: (772) 288-5305. E-mail: mkindel@ci.stuart.fl.us

In compliance with the Americans with Disabilities Act (ADA), anyone who needs a special accommodation to attend this meeting should contact the City's ADA coordinator at 772-288-5306 at least 48 hours in advance of the meeting, excluding Saturday and Sunday.

If a person decides to appeal any decision made by the Board with respect to any matter considered at this meeting, he will need a record of the proceeding, and that for such purpose he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

(RC) next to an item denotes there is a City Code requirement for a Roll Call vote.

(QJ) next to an item denotes that it is a quasi-judicial matter or public hearing.

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

APPROVAL OF MINUTES

1. APPROVAL OF 03/13/2025 LPA MINUTES

COMMENTS FROM THE PUBLIC (Non-Agenda Related) (3 Minutes Max.)

COMMENTS BY BOARD MEMBERS (Non-Agenda Items)

ACTION ITEMS

2. FLOOR & DECOR WALL SIGN VARIANCE REQUEST LOCATED AT 2130 SE FEDERAL HIGHWAY

STAFF UPDATE

ADJOURNMENT

WHAT IS CIVILITY? Civility is caring about one's identity, needs and beliefs without degrading someone else's in the process. Civility is more than merely being polite. Civility requires staying "present" even with those persons with whom we have deep-rooted and perhaps strong disagreements. It is about constantly being open to hear, learn, teach and change. It seeks common ground as a beginning point for dialogue. It is patience, grace, and strength of character. Civility is practiced in our City Hall.

PUBLIC COMMENT: If a member of the public wishes to comment upon ANY subject matter, including quasi-judicial matters, please submit a Request to Speak form. These forms are available in the back of the Commission Chambers, and should be given to the City Clerk prior to introduction of the item number you would like to address.

CONSENT CALENDAR: Those matters included under the Consent Calendar are self-explanatory, non-controversial, and are not expected to require review or discussion. All items will be enacted by one motion. If discussion on an item is desired by any City Commissioner that item may be removed by a City Commissioner from the Consent Calendar and considered separately. If an item is quasi-judicial it may be removed by a Commissioner or any member of the public from the Consent Calendar and considered separately.

QUASI-JUDICIAL HEARINGS: Some of the matters on the Agenda may be "quasi-judicial" in nature. City Commissioners will disclose all ex-parte communications, and may be subject to voir dire by any interested party regarding those communications. All witnesses testifying will be "sworn" prior to their testimony. However, the public is permitted to comment without being sworn. Unsworn testimony will be given appropriate weight and credibility by the City Commission.

**CITY OF STUART, FLORIDA
AGENDA ITEM REQUEST
Local Planning Agency**

Meeting Date: 6/19/2025

Prepared by: Susej Meleqi

Title of Item:

APPROVAL OF 03/13/2025 LPA MINUTES

Summary Explanation/Background Information on Agenda Request:

APPROVAL OF 03/13/2025 LPA MINUTES

Funding Source:

N/A

Recommended Action:

Approve minutes.

ATTACHMENTS:

1. 03132025 LPA Minutes

**MINUTES
LOCAL PLANNING AGENCY OF THE CITY OF STUART
MARCH 13, 2025
AT 5:30 PM
COMMISSION CHAMBERS
121 SW FLAGLER AVE.
STUART, FLORIDA 34994**

LOCAL PLANNING AGENCY

**Chair - Kelly Laurine
Vice Chair - Deana Peterson
Board Member - Werner Bols
Board Member - Margaret Bromfield
Board Member - Ryan Strom
Board Member - Lance Vogl
Board Member - Vacant
Ex Officio Board Member - Mark Sechrist**

ADMINISTRATIVE

**Development Director - Jodi Nentwick-Kugler
Board Secretary - Susej T. Meleqi**

CALL TO ORDER

5:30 PM

ROLL CALL

PRESENT: Chair Laurine, Vice Chair Peterson, Board Member Bromfield, Board Member Vogl, Board Member Strom
ABSENT: Board Member Bols

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

**5:31 PM MOTION: Approve.
MOVED BY: Deana Peterson
SECONDED BY: Ryan Strom
Motion approved unanimously.**

APPROVAL OF MINUTES

1. APPROVAL OF 02/06/2025 LPA MINUTES

5:31 PM MOTION: Approve.

MOVED BY: Ryan Strom

SECONDED BY: Lance Vogl

Motion approved unanimously.

COMMENTS FROM THE PUBLIC (Non-Agenda Related) (3 Minutes Max.)

None.

COMMENTS BY BOARD MEMBERS (Non-Agenda Items)

Board Member Peterson

- Would like to receive emails from the public prior to the LPA meetings.

ACTION ITEMS

2. EDEN/MAR STUART SMALL-SCALE COMPREHENSIVE PLAN FUTURE LAND USE MAP AMENDMENT (LEGISLATIVE) (RC):

ORDINANCE No. 2535-2025; AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF STUART, FLORIDA, FOR A SMALL-SCALE COMPREHENSIVE PLAN FUTURE LAND USE MAP AMENDMENT AS DEFINED IN F.S.§163.3187; AMENDING THE COMPREHENSIVE PLAN FUTURE LAND USE MAP FOR AN APPROXIMATE 22.76-ACRE PARCEL FROM COMMERCIAL TO THE NEIGHBORHOOD SPECIAL DISTRICT FUTURE LAND USE DESIGNATION; AMENDING THE FUTURE LAND USE MAP; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

Jodi Kugler, Development Director, presented the public notice, project location, zoning map, existing future land use, proposed future land use, comprehensive plan future land use element #1, comprehensive plan, future land use element #1 - Policy 1.A7.2, residential density and intensity comparison, non-residential intensity comparison, proposed intensity and floor area ratio analysis, levels of service, traffic concurrency review, and staff recommendation.

Ms. Kugler stated the applicant requested to run the items and presentations concurrent. The Board agreed to listen to both items.

Lee Baggett, City Attorney, swore in all those who will provide testimony.

Michael Houston, HJA - Applicant representative, briefly introduced the item and introduced Mr. Mario Murgado.

Mario Murgado, applicant, introduced himself and presented the Murgado automotive group community involvement, community and environmental responsibility, focus on family, proposed site, existing Mar-Stuart dealership, existing Audi and Masareti

dealership, proposed site plan and rendering, and his investment.

Mr. Houston presented the site history, 2012 approved master-plan, and 2012 previous marketplace CPUD site plan.

Jay Jacobson, CEO of Eden Multifamily, introduced himself and provided a brief background, presented the master-plan, previous proposal, updated proposal, and an innovative stormwater system.

Mr. Houston presented native planted bio-retention area samples, pedestrian circulation exhibit, and land use and major CPUD amendments.

Mr. Jacobson spoke about community involvement and how they answered the negative objections from those members in the community, security, traffic study, property management for the apartment component.

Mr. Houston presented the existing Willoughby buffer, Market Place vs Eden/Mar Stuart daily traffic, Martin county innovation hub map, planned capital improvements, general note for pedestrian priority streets, community benefits, and a fly through of the area.

Mr. Jack Carmody, representative of Willoughby Country Club, stated there are commitments on that land that were made previously in Ordinance 2190-2009 and 2244-2012, read them into the record.

Michele Reily, General Manager of Willoughby Country Club, stated their concerns and the promises that were made 25 years ago.

Mr. Carmody made closing remarks.

Board Member Strom asked if the multifamily buildings were being built with frame or block. Mr. Jacobson stated they were building in block.

Board Member Strom stated the presentation was by far the best he has seen and stated the project is a good project.

Board Members had questions and answers with the applicant.

Michael Mortell, City Manager, spoke about the different traffic studies and how they could be done.

Vice Chair Peterson asked how many exits are on the property.

Board Member continued question and answers with applicant.

Board Member Bromfield stated she thinks this a reasonable project and appreciates that there is more housing in Stuart.

PUBLIC COMMENT:

1. Michael Schubert - Stuart; Is opposed to the project.
2. Nelson Levy - Stuart; Is opposed to this project due to the location.

3. Rachel Snyder - Stuart; Supports the project. Stated the community work Mr. Murgado has done and the leadership he provides.
4. Glenn Webber - Stuart; Questions what happens when the project is approved, and you can see apartment buildings. Shared his opposition on the project.
5. Jack Mac Donald - Stuart; Opposed to the project due to its density.
6. Heidi Alderman - Stuart; Opposed to the project due to the noise, traffic, and development.

Vice Chair Peterson asked why staff did not make a recommendation on the project.

Ms. Kugler stated that the applicant meets all the policies, but staff did not feel comfortable making a recommendation due to the magnitude.

Board Members and Attorney Baggett continued to discuss staff recommendations, and future land use changes.

7:50 PM MOTION: Approve (Item #2).

MOVED BY: Ryan Strom

SECONDED BY: Margaret Bromfield

VOTE: MOTION PASSES 4/1.

YES: Kelly Laurine, Margaret Bromfield, Ryan Strom, Lance Vogl

NO: Deana Peterson

7:51 PM MOTION: Approve with recommendation for the applicant to meet with Willoughby and re-look the elevation to something more coastal (Item #3).

MOVED BY: Ryan Strom

SECONDED BY: Margaret Bromfield

VOTE: MOTION PASSES 3/2.

YES: Kelly Laurine, Margaret Bromfield, Ryan Strom,

NO: Lance Vogl, Deana Peterson

3. EDEN/MAR STUART MAJOR AMENDMENT TO THE COMMERCIAL PLANNED UNIT DEVELOPMENT (QUASI-JUDICIAL) (RC):

ORDINANCE No. 2536-2025; AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF STUART, FLORIDA, FOR A MAJOR CPUD AMENDMENT TO THE 12.31-ACRE MAR-STUART (MARKET PLACE) COMMERCIAL PLANNED UNIT DEVELOPMENT (CPUD) LOCATED ON THE WEST SIDE OF SE FEDERAL HIGHWAY, TO INCORPORATE A 22.76-ACRE PARCEL WITHIN THE OVERALL MAR-STUART CPUD FOR A TOTAL LAND AREA OF 35.07-ACRES; PROVIDING FOR CONDITIONS OF APPROVAL; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

***Clerks Note** - This item was heard and discussed with Item #2*

STAFF UPDATE

ADJOURNMENT

7:54 PM

Susej T. Meleqi, Board Secretary

Kelly Laurine, Chair

**Minutes to be approved at the LPA
Meeting this 19th day of June, 2025.**

**CITY OF STUART, FLORIDA
AGENDA ITEM REQUEST
Local Planning Agency**

Meeting Date: 6/19/2025

Prepared by: Jodi Nentwick

Title of Item:

FLOOR & DECOR WALL SIGN VARIANCE REQUEST LOCATED AT 2130 SE FEDERAL HIGHWAY

Summary Explanation/Background Information on Agenda Request:

The subject property is located at 2130 SE Federal Highway, Stuart, FL, 34996. The property is currently occupied by Floor & Décor, formally occupied by The Goodwill Store. The tenant, Floor & Décor is seeking a variance from Section 6.11.17 (Table) to allow for two (2) signs to exceed the maximum combined sign face of 100 square feet per occupant.

On March 26, 2025, the City Development Director approved a Minor Development Plan for Floor & Décor for the exterior and interior renovation of the 55,530-square-foot, one (1) story commercial building to be utilized for retail, office, and interior storage uses. The building improvements include interior renovations and installing a roll-up garage door on the northwest building façade, the addition of five (5) parking spaces for customer pickup and loading, replacement of the existing porte-cochere canopy, landscaping improvements, stormwater improvements adjacent to the northwest building façade, and the relocation of ADA parking spaces adjacent to the front of the building. As part of the approved Minor Development Order, condition number 9. stated the following:

“All signage must comply with the Design Standards outlined in the Land Development Code, Section 6.11.117. A maximum of two (2) wall signs are permitted with a maximum combined area of 100 square feet per occupant.”

Funding Source:

N/A

Recommended Action:

Staff support the variance request for Option 1, east elevation and the secondary wall sign located on the north elevation.

ATTACHMENTS:

1. Staff Report - Floor & Decor
2. Variance Application
3. Justification Statement
4. Location Map
5. Option 1 Wall Sign East Elevation
6. Option 2 East Wall Sign Elevation
7. Wall Sign North Elevation
8. Recorded Minor Development Order
9. LDC Section 6.11.17 - Table
10. Draft Variance Order - Floor & Decor



TO: Local Planning Agency (LPA)

FROM: Jodi Kugler, Development Director

MEETING DATE: Thursday, June 19, 2025

SUBJECT: **PETITION NUMBER – Z25040003**
 Floor & Décor is requesting a variance from Section 6.11.17 (Table), Stuart Land Development to allow for two (2) wall signs to exceed the maximum combined sign face area of 100 square feet per occupant.

GENERAL INFORMATION:

Property Owner: NP I, Inc
 4280 Professional Center Drive, Suite 100
 Palm Beach Gardens, FL 33410

Applicant(s) Agent: Ricky Torres
 Alternative Sign Group, Inc.
 10130 Northlake Boulevard
 West Palm Beach, FL 33412

Location: 2130 SE Federal Highway

Parcel ID#: 09-38-41-000-000-00400-1

Parcel Size: +/-15.28-acres

Future Land Use: Commercial

Zoning District: B-2 Business General

Purpose: The Petitioner, Floor & Décor is requesting a variance from Section 6.11.17 (Table) of the City of Stuart Land Development to allow for two (2) wall signs to exceed the maximum combined sign face area of 100 square feet per occupant.

Existing Use: Shopping Center

Surrounding Zoning: B-2 Business General

BACKGROUND:

The subject property is located at 2130 SE Federal Highway, Stuart, FL, 34996. The property is currently occupied by Floor & Décor, formally occupied by The Goodwill Store. The tenant, Floor & Décor is seeking a variance from Section 6.11.17 (Table) to allow for two (2) signs to exceed the maximum combined sign face of 100 square feet per occupant.

On March 26, 2025, the City Development Director approved a Minor Development Plan for Floor & Décor for exterior and interior renovation of the 55,530 square foot, one (1) story commercial building to be utilized for retail, office, and interior storage uses. The building and improvements include interior renovations and installing a roll-up garage door on the northwest building façade, the addition of five (5) parking spaces for customer pickup and loading, replacement of the existing porte-cochere canopy, landscaping improvements, stormwater improvements adjacent to the northwest building façade, and the relocation of ADA parking spaces adjacent to the front of the building. As part of the approved Minor Development Order, condition number 9. stated the following:

“All signage must comply with the Design Standards outlined in the Land Development Code, Section 6.11.117. A maximum of two (2) wall signs are permitted with a maximum combined area of 100 square feet per occupant.”

BOARD OF ADJUSTMENT STANDARDS OF REVIEW:

**STANDARDS OF REVIEW AS OUTLINED IN SECTION 8.05.02.
CITY OF STUART LAND DEVELOPMENT CODE**

In reviewing this application for a variance from the City of Stuart Land Development Code (LDC), the Local Planning Agency (LPA), acting in the capacity of the Board of Adjustment (BOA), shall have the power to authorize in specific cases such variances which will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of certain parts of this code will, in an individual case, result in unnecessary hardship, so that the spirit of the code shall be observed, public safety and welfare secured, and substantial justice done. Such variance may be granted in such cases of unnecessary hardship upon the following findings by the Local Planning Agency.

The need for the proposed variance is attributable to unique characteristics of the property either as to the land or as to any improvements thereon, or both, and the proposed variance, **if granted, will not:**

- 1. Authorize any use of the property that is not allowed as a permitted use, or a use allowed by conditional use in the district in which the property is located; and**

Per the Applicant’s justification letter states the following hardship:

1. **Visibility and Location Constraints:** Our property is located on SE Federal Highway with strict wall sign limitation requirements, which makes it challenging for passing motorists or pedestrians to see the current signage. The proximity of nearby buildings, trees, or other structures limit the effectiveness of our existing sign. A larger or more strategically placed sign would significantly improve visibility and allow us to better advertise to potential customers.
2. **Economic Impact:** Our business is heavily dependent on local customers who may not be aware of our location. Without an appropriate and visible sign, we risk losing potential business, which in turn affects our ability to stay competitive and contribute to the local economy. A variance would allow us to increase foot traffic and revenue, which would help sustain jobs and provide services to the community.
3. **Aesthetic and Character Preservation:** We understand the importance of preserving the aesthetic and character of the neighborhood. The proposed sign is designed in a way that is consistent with the surrounding architecture and landscaping, and it would not disrupt the visual harmony of the area. We are committed to ensuring that the sign is tasteful and complements the environment.

4. Practical Difficulty: Due to the requirements of the southern live oak trees in the front of our building, adhering to the strict sign regulations would present significant practical difficulties. For example, installing a sign that meets the current regulations would require additional costs to manufacture a custom sign as well as compromising our brand image. The following applies as well with the proposal of this sign variance.

* Does not increase or enlarge the density, intensity of use, footprint, or any dimension of the overall plan by more than five percent; and * Does not increase or enlarge the exterior "footprint" of commercial, industrial or multi-family residential buildings by more than 1,000 square feet of building, or more than 1,000 square feet of additional impervious area; or

- Does not increase or enlarge the "footprint" of single family or small multi-family (four or fewer dwelling units) buildings by more than 360 square feet of building, or no more than 360 square feet of additional impervious area is requested; and where the scope and intent of any variance approved by the board of adjustment, or scope and intent of any site plan previously approved by the city commission is not violated.

The applicant is requesting the Board to consider the following options for the main front façade located east side of the building facing SE Federal Highway and secondary sign located on the north elevation:

Wall sign	Proposed	Required	Request (exceeds)
Option 1 Front wall	185.94 square feet	100 square feet	85.94 square feet
Option 2 Front wall	330.46 square feet	100 square feet	230.46
2 nd Sign	12.77 square feet	100 square feet	12.77 square feet

LDC Section 6.11.17. Design Standards Matrix (Table 6.11.17)

DESIGN STANDARDS MATRIX SIGNS IN B-1, B-2, I, H, P,; Urban Code Districts including Urban Highway (UH), Urban General (UG), Urban Center (UC) and Urban Waterfront (UW); East Stuart Code Districts including Business and Mixed-use (BMU).						
Type of Sign	Quantity	Area (max.)	Location	Height	Sign Copy Limits	Illumination
Wall	Not more than two per occupant	1.5 sq. ft. for first 25 linear feet occupancy then 1 sq. ft. per linear feet occupancy (not to exceed 100 sq. ft per occupancy)	on building face	N/A	N/A	Allowed

OPTION 1 **FACE LIT CHANNEL LETTERS / WALL SIGN**

**ALLOWED: 100.00 SQFT
 PROPOSED: 185.94 SQFT**

NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONSTRUCTION DETAILS TBD BY ENGINEERING.

1 FRONT ELEVATION - EAST

S01a 5" X 3.5" RACEWAY SIZE FOR LETTERS/LOGOS SHORTER THAN 4"
 8" X 4.375" RACEWAY SIZE FOR LETTERS/LOGOS 4' & TALLER
 COLOR OF RACEWAY: TBD

Proposed 185.94 square feet

185.94 SQ FT

INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS

***CHANNEL LETTERS SMALLER THAN 5'**

***AMPERSAND SMALLER THAN 4'**

- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- JEWELITE - 1" RED
- BACKS - 3MM WHITE ACM
- LETTER FACES - 150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDs (7600 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY

***AMPERSAND 4' & LARGER**

- RETURNS - FABRICATED ALUMINUM CABINET (6" DEEP)- PAINTED TO MATCH 3M 3630-33 RED VINYL
- FACES - 3M PANAGRAPHSICS III W/ 3M 3630-33 RED VINYL OVERLAY
- BACKS - 3MM WHITE ACM
- ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN RACEWAY

***CHANNEL LETTERS LARGER THAN 5'**

- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- FACE RETAINERS - 1" ALUMINUM DEADSOFT PAINTED TO MATCH 3M 3630-33 RED VINYL
- BACKS - 3MM WHITE ACM
- LETTER FACES - 150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED RACEWAY

THIS IS AN ORIGINAL UNPUBLISHED DRAWING. CREATED FOR YOUR PERSONAL USE BY YOU BY CUMMINGS SIGNS. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CUMMINGS SIGNS.

CUSTOMER APPROVAL:

DATE: _____

REV.#	DATE	BY	REV.#	DATE	BY
Rev.#1			Rev.#4		
Rev.#2			Rev.#5		
Rev.#3			Rev.#6		

DRAWING NO:
1382738604.06
DATE: 12.23.2024
J. Allington

OPTION 2 **FACE LIT CHANNEL LETTERS / WALL SIGN**

**ALLOWED: 81.72 SQFT
 PROPOSED: 330.46 SQFT**

NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONSTRUCTION DETAILS TBD BY ENGINEERING.

1 FRONT ELEVATION - EAST

S01b 5" X 3.5" RACEWAY SIZE FOR LETTERS/LOGOS SHORTER THAN 4"
 8" X 4.375" RACEWAY SIZE FOR LETTERS/LOGOS 4' & TALLER
 COLOR OF RACEWAY: TBD

Proposed 330.46 square feet

330.46 SQ FT

INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS

***CHANNEL LETTERS SMALLER THAN 5'**

***AMPERSAND SMALLER THAN 4'**

- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- JEWELITE - 1" RED
- BACKS - 3MM WHITE ACM
- LETTER FACES - 150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDs (7600 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY

***AMPERSAND 4' & LARGER**

- RETURNS - FABRICATED ALUMINUM CABINET (6" DEEP)- PAINTED TO MATCH 3M 3630-33 RED VINYL
- FACES - 3M PANAGRAPHSICS III W/ 3M 3630-33 RED VINYL OVERLAY
- BACKS - 3MM WHITE ACM
- ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN RACEWAY

***CHANNEL LETTERS LARGER THAN 5'**

- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- FACE RETAINERS - 1" ALUMINUM DEADSOFT PAINTED TO MATCH 3M 3630-33 RED VINYL
- BACKS - 3MM WHITE ACM
- LETTER FACES - 150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED RACEWAY

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CUSTOMER APPROVAL:

DATE: _____

REV.#	DATE	BY	REV.#	DATE	BY
Rev.#1			Rev.#4		
Rev.#2			Rev.#5		
Rev.#3			Rev.#6		

DRAWING NO:
1382738604.06
DATE: 12.23.2024
J. Allington

The second requested wall will be located on the north elevation of the building:

FACE LIT CHANNEL LETTERS

ALLOWED: 100.00 SQFT
 PROPOSED: 12.77 SQFT

NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONSTRUCTION DETAILS TBD BY ENGINEERING.

S02

12'-0 1/4"

CUSTOMER PICK-UP

FD-CPU-12CL

Proposed 12.77 square feet

5" X 3.5" RACEWAY SIZE
 8" X 4.375" RACEWAY SIZE
 COLOR OF RACEWAY:

Section @ LED Channel Ltr
 Scale: 1/8" = 1'-0"

Specifications: Channel Letters

INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS

- *CHANNEL LETTERS SMALLER THAN 5"
- *RAMPERS AND SMALLER THAN 4" RED ALUMINUM (6" DEEP)
- *RAMPERS - 3" DEEP PRE-FINISHED RED ALUMINUM (6" DEEP)
- *BRONZE/STAINLESS STEEL ACM
- *BRUSHED/POWDER COATED WHITE LEKAM W/ 3M 3630-33-
- *LED STRIP PACKS FROM WHITE LEKAM W/ 3M 3630-33-
- *LED STRIP PACKS FROM WHITE LEKAM W/ 3M 3630-33-
- *LED STRIP PACKS FROM WHITE LEKAM W/ 3M 3630-33-
- *POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY

CUMMINGS

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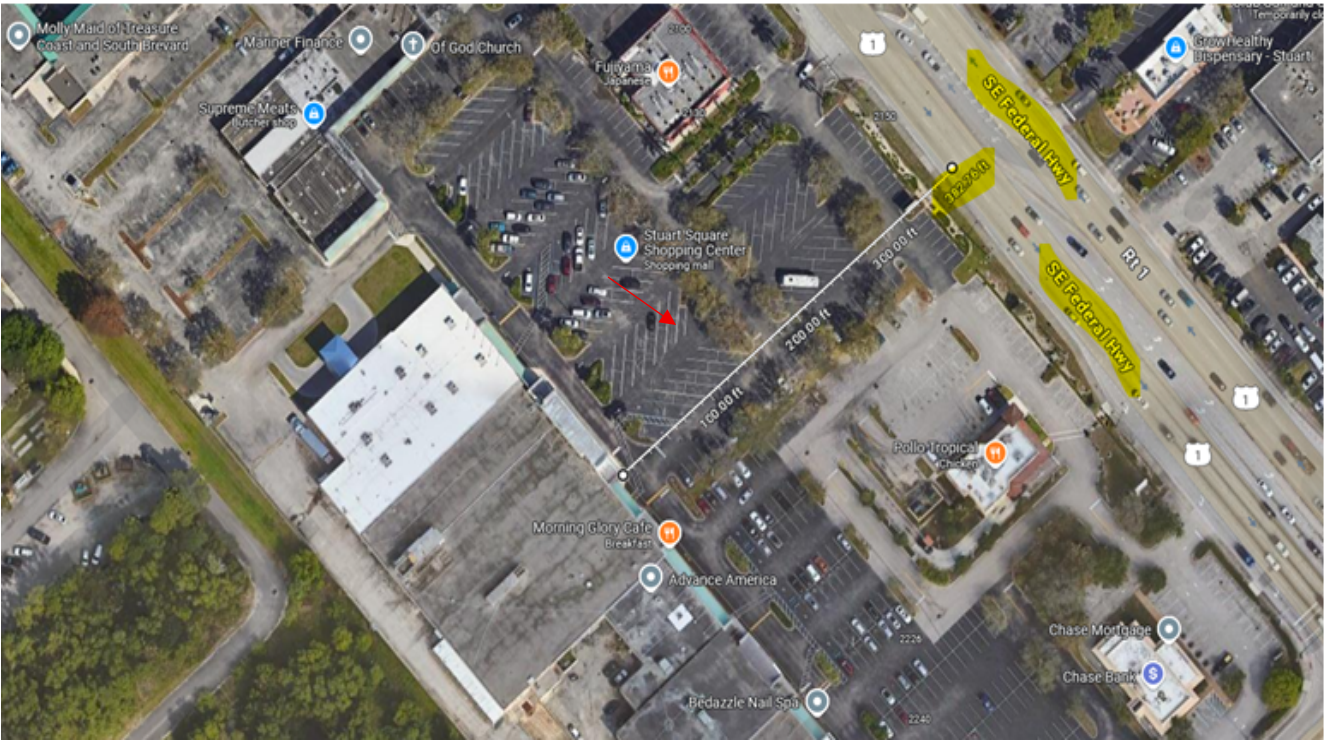
CUSTOMER APPROVAL:

DATE: _____

FIG. #	DATE	BY	FIG. #	DATE	BY
FIG. #1	_____	_____	FIG. #4	_____	_____
FIG. #2	_____	_____	FIG. #5	_____	_____
FIG. #3	_____	_____	FIG. #6	_____	_____

FLOOR & DECOR

DRAWING NO. 1382738604.06
 DATE: 12.23.2024
 J. Allington



*Google Earth snapshot showing the distance from SE Federal Highway to the East Elevation (Front Façade)

2. Allow density or intensity of use that exceeds the maximum density or intensity that is permitted in the district in which the property is located; and

Refer to Number 1.

The subject parcel meets the density and intensity as presented.

3. Result in a verifiable reduction of the property values of any adjacent properties; and

Granting the requested variance will not cause a potential reduction of the property values of any adjacent properties.

4. Cause a detrimental effect in the supply of light and air to adjacent properties; and

The effect in the supply of light and air on adjacent properties is not detrimental and does not apply to the requested variance.

5. Cause a detrimental effect concerning drainage of the subject property as well as adjacent properties; and

Granting the requested variance, the applicant should be required to demonstrate all stormwater management requirements by the LDC Section 6.03.00.

6. Cause an increase of traffic on adjacent or nearby roads to levels that are not usual for the types of uses in the neighborhood; and

Granting the requested variance will not impact or increase any traffic on adjacent or nearby roads to levels that are not usual for types of uses in the neighborhood.

7. Cause any threat to public safety in any manner whatsoever; and

Granting the requested variance will not cause any threat to public safety in any manner whatsoever.

8. Cause any threat to the health and general welfare of the inhabitants of the city.

Granting the requested variance does not cause any threat to the health and general welfare of the inhabitants of the city.

PUBLIC NOTIFICATION

On June 4, 2025, notice to surrounding properties provided notification letters to owners of property located within 300 feet of the proposed petition. One (2) public notification sign detailing the Board of Adjustment Public Hearing was posted on the premises. The Board of Adjustment Public Hearing meeting is not applicable to advertise within the local newspaper.

STAFF RECOMMENDATION

Staff support the variance request for Option 1, east elevation and the secondary wall sign located on the north elevation.



City of Stuart
121 SW Flagler Ave.
Stuart, FL 34994
development@ci.stuart.fl.us
(772) 288-5326

Received by: _____
 Reviewed by: _____

Variance Application

Project ID# _____
 (Staff Entry)

Pre-App Conference Date:	Application Date:
--------------------------	-------------------

SITE INFORMATION

Project Name: Floor & Decor	Parcel ID#: 09-38-41-000-000-00400-1
Site Address: 2130 SE Federal Highway Stuart FL 34994	
Subdivision:	Lot(s):
Site Acreage: 15.28 Acres	Flood Zone/Base Flood Elevation: Flood Zone x
Existing Zoning District / CRA Subdistrict (if applicable): B-2 Business General	
Proposed Zoning District / CRA Subdistrict (if applicable): B-2 Business General	
Current Comprehensive Plan Future Land Use Designation: Commercial	
Proposed Comprehensive Plan Future Land Use Designation (if applicable): Commercial	
Existing Land Use: Vacant Building Space (Former Winn Dixie & Goodwill)	Proposed Land Use: Flooring retail store (Floor & Decor)
Proposed Square Footage (if applicable): 55,530sf (existing to remain)	Proposed Density (if applicable): .27 FAR
Variance Request (check the box below that applies):	
<input checked="" type="checkbox"/> Board of Adjustment Variance	<input type="checkbox"/> Administrative Variance

PETITIONER INFORMATION

Property Owner: NP I, Inc.	Phone Number / Email Address: 561-966-0070 ken@noblep.com
Property Owner's Mailing Address: 4280 Professional Center Dr. #100, Palm Beach Gardens, FL 33410	
Applicant (if not Owner): Alternative Sign Group Inc	Phone Number / Email Address: 561-722-9272. Ricky@asgsign.com
Applicant's Mailing Address: 10130 Northlake Blvd W.P.B FL 33412	
Agent/Contact Person: Ricky Torres	Phone Number / Email Address: 561-722-9272. Ricky@asgsign.com
Agent's Mailing Address:	
Architect: SBLM Architects	Engineer: Dynamic Engineering Consultants, PC
Planner:	Landscape Architect: Evergreen Design Group

City of Stuart Development Department, 121 SW Flagler Ave. Stuart, FL 34994 Phone: (772) 288-5326 Fax: (772) 288-5388

Statement of Ownership and Designation of Authorized Agent

(Please Print or Type)

Before me, the undersigned authority, personally appeared Traci Ambrosino

Who, being by me first duly sworn, on oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description.
2. That he/she is requesting approval of a variance for signage in the City of Stuart, FL.
3. That he/she has appointed Alternative Sign Group, Inc. to act as an authorized agent on his/her behalf to accomplish the above project.

Name of Owner: NP I, Inc.

[Signature]
 Signature of Owner:
4282 Professional Center Dr., Suite 100
 Street Address

P.O. Box
561-966-0070

Telephone Number

tambrosino@noblep.com
 Email Address:

Traci Ambrosino, Senior Vice President
 By: Name/Title
Palm Beach Gardens, FL 33410
 City, State, Zip Code

City, State, Zip Code
561-966-0260
 Fax Number

STATE OF FLORIDA, COUNTY OF Palm Beach

Sworn and subscribed before me by means of physical presence or online notarization, this

2nd day of January, 2025 By Traci Ambrosino

Personally Known OR Produced Identification
 Type of Identification Produced:

[Signature]
 Notary Public

My Commission expires:
March 11, 2026



Financial Responsibility Form

(Please Print or Type)

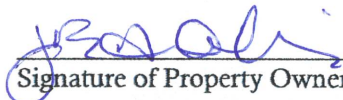
The Undersigned, as the Property Owner, Lessee, Contract Purchaser, or Applicant (circle one), acknowledges responsibility for all City expenses associated with the referenced application (s) including time spent by the City's consultants and further acknowledges that payment of consultant fees will be made prior to the receipt of the consultant comments.

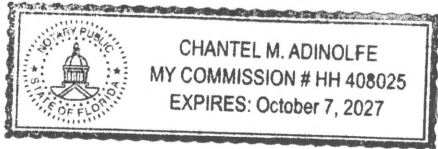
Name: Joseph Adinolfe
Title: Qualifier
Company: Alternative Sign Group Inc
Company Address: 10130 Northlake Blvd

City/State/Zip Code: W.P.B FL 33412
Telephone Number: 561-722-9272 EXT 1117
Facsimile Number:
Email Address (optional): Ricky@asgsign.com

I hereby certify that all information contained herein is true and correct.

1. Signed this 3rd day of APRIL, 2025.

 _____ Text
Signature of Property Owner, Lessee, Contract Purchaser or Applicant (circle one)



Application Requirements

Fee:

- \$104.00 Administrative Variance Approval; or
- \$852.00 Board of Adjustment Approval

(This does not include fees that may be charged as a result of application review by the City's consultants or any required recording fees)

The Board of Adjustment may grant a variance from the strict application of the following dimensional requirements of the city land development regulations and the city Code of Ordinances:

- Lot area requirements; minimum yard setbacks; setbacks, building separation and heights for accessory structures; finished floor elevation; satellite television antenna systems; fences, walls, hedges and enclosures; and setback requirements for location of swimming pools. The City's Development Director may grant an administrative variance for the following standards of the land development code:
- Yard setbacks. Any yard setback variance request which does not exceed 110 percent of the code requirement. (For example: where a rear yard setback is 15 feet, and the variance request doesn't exceed 1.5 feet of relief or a reduction to a 13.5-foot setback.)
- Fences, walls and hedges. Any variance request for a fence, wall or hedge height or location, or other buffer screening matter.
- Other minor code variances and minor site plan amendments. Any other minor technical or land use code variance (but not including setback variances covered above) or any minor site plan revision or amendment for items including, but not limited to, those affecting drainage, easements, bulkheads, docks, flood elevation, curbing and curb-cuts, medians, solid waste collection, principal or accessory structures or lots, signage, landscape, lighting, parking, driveways, or utilities; and including a change of use from one permitted use to another permitted use.

A minor code variance or site plan revision is one in which the requested change:

- Does not increase or enlarge the density, intensity of use, footprint, or any dimension of the overall plan by more than five percent; and
 - Does not increase or enlarge the exterior "footprint" of commercial, industrial or multi-family residential buildings by more than 1,000 square feet of building, or more than 1,000 square feet of additional impervious area; or
 - Does not increase or enlarge the "footprint" of single family or small multi-family (four or fewer dwelling units) buildings by more than 360 square feet of building, or no more than 360 square feet of additional impervious area is requested; and
- Where the scope and intent of any variance approved by the board of adjustment, or scope and intent of any site plan previously approved by the city commission is not violated.

Submittal Requirements: A completed application form, the payment of fees, one (1) copy of all documents on a PDF formatted disc electronically signed and sealed, a site plan, and any other information as may be required by the City Development Director in order to do a thorough review of the request. The data requirements for a site plan are available at the Development Department.

Approving Authority: The Development Director is required to prepare a staff report and recommendation concerning this application for the Board of Adjustment (BOA) public hearing.



Floor & Decor
2130 SE Federal Highway
Stuart FL 34994

City of Stuart Zoning Division
121 SW Flagler Ave Stuart, FL 34994

Dear Members of the LPA

I am writing to respectfully request a variance from the signage requirements in accordance with the City of Stuart. Our business, Floor & Decor that is located at 2130 SE Federal Highway Stuart FL 34994 and we seek approval for a variance from the current sign regulations.

As outlined in the ordinance, signs are typically required to conform to the limitation of 100 sq. ft. for the front East wall sign Option (1) S01a Option(2) S01b and Wall sign North wall sign Option (1) S02

However, after reviewing the criteria, we have found that strict adherence to these regulations would impose a significant hardship on our ability to effectively market our business.

I would like to explain why:

1. Visibility and Location Constraints: Our property is located on SE Federal Highway with strict wall sign limitation requirements, which makes it challenging for passing motorists or pedestrians to see the current signage. The proximity of nearby buildings, trees, or other structures limit the effectiveness of our existing sign. A larger or more strategically placed sign would significantly improve visibility and allow us to better advertise to potential customers.
2. Economic Impact: Our business is heavily dependent on local customers who may not be aware of our location. Without an appropriate and visible sign, we risk losing potential business, which in turn affects our ability to stay competitive and contribute to the local economy. A variance would allow us to increase foot traffic and revenue, which would help sustain jobs and provide services to the community.
3. Aesthetic and Character Preservation: We understand the importance of preserving the aesthetic and character of the neighborhood. The proposed sign is designed in a way that is consistent with the surrounding architecture and landscaping, and it would not disrupt the visual harmony of the area. We are committed to ensuring that The sign is tasteful and complements the environment.
4. Practical Difficulty: Due to the requirements of the southern live oak trees in the front of our building, adhering to the strict sign regulations would present significant practical difficulties. For example, installing a sign that meets the current regulations would require additional costs to manufacture a custom sign as well as compromising our brand image.

The following applies as well with the proposal of this sign variance.

- * Does not increase or enlarge the density, intensity of use, footprint, or any dimension of the overall plan by more than five percent; and
- * Does not increase or enlarge the exterior "footprint" of commercial, industrial or multi-family residential buildings by more than 1,000 square feet of building, or more than 1,000 square feet of additional impervious area; or
- Does not increase or enlarge the "footprint" of single family or small multi-family (four or fewer dwelling units) buildings by more than 360 square feet of building, or no more than 360 square feet of additional impervious area is requested; and where the scope and intent of any variance approved by the board of adjustment, or scope and intent of any site plan previously approved by the city commission is not violated.

In conclusion, we believe that granting this variance will not only serve the best interests of our business but will also benefit the community by providing a more accessible and visible location for our services.

We respectfully request your consideration and approval of this variance, as it will help mitigate the challenges we face while still adhering to the broader goals of the zoning ordinance.

Respectfully

Ricky Torres



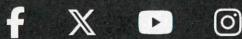
Martin County Florida Your County Your Community

Martin County Property Information Lookup

General Information		Property Location Map	
Parcel #	09384100000004001		
Owner Name:	NP I INC		
Owner Address:	4280 PROFESSIONAL CENTER DR STE 100 PALM BEACH GARDENS, FL 33410		
Site Address:	2170 SE FEDERAL HWY STUART, FL 34994		
Storm Surge Evacuation Zone:	N/A		
Flood Zone - BFE:	X - N/A' NAVD		
FIRM Panel:	12085C0161H		
Urban Service District:	Primary		
Municipality:	City of Stuart		
Taxing District:	District 2		
ISO-PPC Rating:	Contact City of Stuart Fire Rescue		
Subdivision Infill applicability:	Yes		
Development Imposed Conditions:	Residential Fire Sprinklers Not Required		
Building Design Wind Speed			
Occupancy Category I,II,III/IV:	140, 160, 170		
Land Use		Election Information	
Land Use information can change frequently, please verify with the Martin County Growth Management Department at 772-288-5495		Voter Precinct	7
Zoning:	STUART	Commission District:	2
Zoning Details:	N/A	Commissioner:	Stacey Hetherington 772-288-5400
Future Landuse	NO DATA	Clerk of Circuit Court:	Carolyn Timmann 772-288-5576
Landuse Details:	N/A	County Sheriff:	William Snyder 772-220-7000
Community Redevelopment		Property Appraiser:	Jenny Fields 772-288-5608
CRA:	N/A	School Superintendent:	Michael Maine 772-219-1200
CRA Regulating Plan:	N/A	Supervisor of Elections:	Vicki Davis 772-288-5637
Schools		Tax Collector:	Ruth Pietruszewski 772-288-5600
School information obtained from the Martin County School District system, 772-219-1200		Utilities & Solid Waste	
Elementary School:	J D Parker Elementary	Service: Utility:	Availability: Phone:
Middle School:	Dr. David L. Anderson Middle School	Water: City of Stuart Utilities	Call 772-288-5317
High School:	Jensen Beach High School	Sewer: City of Stuart Utilities	Call 772-288-5317
Created:	December , 13th, 2024 10:33 AM	Recycle Collection:	N/A
		Trash Collection:	N/A
		Yard Waste Collection:	
		Print	

Disclaimer: The Geographic Information System map product, received from Martin County, ("COUNTY") is provided "as is" without warranty of any kind, and the COUNTY expressly disclaims all express and implied warranties, including but not limited to the implied warranties of merchantability and fitness for a particular purpose. The COUNTY does not warrant, guarantee, or make any representations regarding the use, or the results of the use, of the information provided to you by the COUNTY in terms of correctness, accuracy, reliability, timeliness or otherwise. The entire risk as to the results and performance of any information obtained from the COUNTY is entirely assumed by the recipient. Please contact the responsible Martin County Department for specific determinations.

Martin County Florida
Your County. Your Community.



2401 SE Monterey Road, Stuart, FL 34996
Phone (772) 288-5400

Questions?

- About Martin County
- Career Opportunities
- Newsletter Signup





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation
NP I, INC.

Filing Information

Document Number P92000013479
FEI/EIN Number 65-0376468
Date Filed 12/22/1992
State FL
Status ACTIVE
Last Event AMENDMENT
Event Date Filed 08/16/2013
Event Effective Date NONE

Principal Address

4280 PROFESSIONAL CENTER DRIVE
 SUITE 100
 PALM BEACH GARDENS, FL 33410

Changed: 02/27/2012

Mailing Address

4280 PROFESSIONAL CENTER DRIVE
 SUITE 100
 PALM BEACH GARDENS, FL 33410

Changed: 02/27/2012

Registered Agent Name & Address

AMBROSINO, TRACI L
 4280 PROFESSIONAL CENTER DRIVE
 SUITE 110
 PALM BEACH GARDENS, FL 33410

Name Changed: 01/20/2022

Address Changed: 02/27/2012

Officer/Director Detail

Name & Address

Title CEO, Chairman, Director

HART, JOEL B
4280 PROFESSIONAL CENTER DRIVE, SUITE 100
PALM BEACH GARDENS, FL 33410

Title President

EFRON, NEIL C
4280 PROFESSIONAL CENTER DRIVE, SUITE 100
PALM BEACH GARDENS, FL 33410

Title Asst. Secretary, Director

HART, NANCY C
4280 PROFESSIONAL CENTER DRIVE, SUITE 100
PALM BEACH GARDENS, FL 33410

Title Senior Vice President, Asst. Secretary

AMBROSINO, TRACI L
4280 PROFESSIONAL CENTER DRIVE, SUITE 100
PALM BEACH GARDENS, FL 33410

Title Secretary

KISS, LISA
4280 PROFESSIONAL CENTER DRIVE, SUITE 100
PALM BEACH GARDENS, FL 33410

Title Senior Vice President

ROOSTH, KENNETH
4280 PROFESSIONAL CENTER DRIVE
SUITE 100
PALM BEACH GARDENS, FL 33410

Annual Reports

Report Year	Filed Date
2022	01/20/2022
2023	01/26/2023
2024	01/30/2024

Document Images

01/30/2024 -- ANNUAL REPORT	View image in PDF format
01/26/2023 -- ANNUAL REPORT	View image in PDF format
01/20/2022 -- ANNUAL REPORT	View image in PDF format
02/15/2021 -- ANNUAL REPORT	View image in PDF format
01/27/2020 -- ANNUAL REPORT	View image in PDF format
04/02/2019 -- ANNUAL REPORT	View image in PDF format
02/13/2018 -- ANNUAL REPORT	View image in PDF format
01/18/2017 -- ANNUAL REPORT	View image in PDF format
02/15/2016 -- ANNUAL REPORT	View image in PDF format
02/13/2015 -- ANNUAL REPORT	View image in PDF format
01/16/2014 -- ANNUAL REPORT	View image in PDF format
08/16/2013 -- Amendment	View image in PDF format
03/13/2013 -- ANNUAL REPORT	View image in PDF format
02/27/2012 -- ANNUAL REPORT	View image in PDF format
04/11/2011 -- ANNUAL REPORT	View image in PDF format
08/19/2010 -- ANNUAL REPORT	View image in PDF format
04/15/2010 -- ANNUAL REPORT	View image in PDF format
03/26/2009 -- ANNUAL REPORT	View image in PDF format
04/14/2008 -- ANNUAL REPORT	View image in PDF format
04/30/2007 -- ANNUAL REPORT	View image in PDF format
04/28/2006 -- ANNUAL REPORT	View image in PDF format
05/02/2005 -- ANNUAL REPORT	View image in PDF format
04/28/2004 -- ANNUAL REPORT	View image in PDF format
04/29/2003 -- ANNUAL REPORT	View image in PDF format
04/30/2002 -- ANNUAL REPORT	View image in PDF format
04/26/2001 -- ANNUAL REPORT	View image in PDF format
11/21/2000 -- Name Change	View image in PDF format
09/14/2000 -- Amendment	View image in PDF format
09/06/2000 -- ANNUAL REPORT	View image in PDF format
05/03/2000 -- ANNUAL REPORT	View image in PDF format
03/02/2000 -- ANNUAL REPORT	View image in PDF format
02/24/1999 -- ANNUAL REPORT	View image in PDF format
05/01/1998 -- ANNUAL REPORT	View image in PDF format
04/23/1997 -- ANNUAL REPORT	View image in PDF format
04/16/1996 -- ANNUAL REPORT	View image in PDF format
04/11/1995 -- ANNUAL REPORT	View image in PDF format

WALL SIGN DESIGN

Scope of work is for the design of the connection of the wall sign to the existing structure only.
See last two pages for structural notes.

ASCE 7-22 - Components and Cladding

Wind Speed, V_{ult}	= 160	mph
Risk Category	= II	
Exposure Category	= C	
Sign Height	= 35.00	ft (max)
Topo. Factor, K_{zt}	= 1.00	
Direct. Factor, K_d	= 0.85	

Corner Zone: No

Resulting Parameters and Coefficients:

Wall External Pressure Coefficients, G_{Cp} :

G_{Cp} Zone 4 Pos.	= 0.90	
G_{Cp} Zone 5 Pos.	= 0.90	
G_{Cp} Zone 4 Neg.	= -0.99	
G_{Cp} Zone 5 Neg.	= -1.26	
a	= 9.50	
z_g	= 900	
K_h	= 1.01	
q_h	= 33.8	psf
Case 1, $F(-)$	= -33.5	psf
Case 2, $F(+)$	= 30.4	psf

= $0.00256 \cdot 1.01 \cdot 1.05 \cdot 160^2 \cdot (0.6, \text{allowable})$
 = $(-0.99) \cdot 33.8 \text{psf}$
 = $(0.9) \cdot 33.8 \text{psf}$

Sign Geometry:

Overall Height	= 3.18	ft (total)	Geometry Used is for the large logo. (two raceways on the logo)
Clip Spacing	= 2.00	ft (max)	Use same fastener design for channel letters.
% solid area	= 100%		
Area	= 6.4	ft ²	= $3.18 \cdot 2 \cdot 100\%$
Bearing Height	= 0.67	ft (this is the height of the portion of the sign bearing against the building)	
Sign Thickness	= 6.00	in (channel letters or cabinet)	
Sign Dead Load	= 3.00	psf (max)	
Appx. Weight	= 19	lb	= $3 \text{psf} \cdot 6.4$
Vertical offset	= 0.00	in (positive # denotes centroid of sign above centroid of connection)	

Raceway Behind Channel Letters

Raceway Height	= 8.00	in
Raceway thickness	= 4.38	in
fastener couple	= 9.50	in (vertical)
# of 'rows'	= 2	(minimum)
Total # of fasteners	= 50%	of fasteners resisting tension due to eccentricities (along top of connection)
$V_{fastener}$	= 10	lb = $19 / (2 \text{ fasteners})$

Case 1: Wind-outward

# upper fasteners	= 1	(min)
$M_{bottom, \text{case 1}}$	= -998	in-lb = $-33.5 \cdot 6.4 \cdot (8 \cdot 2) - 19 \cdot (6 \cdot 2 + 4.375 \cdot 2)$
$R_{upper, \text{case 1}}$	= 105	lb (tension) = $998 / 9.5 \cdot (1 \text{ fasteners})$
# lower fasteners	= 1	(min)
$M_{top, \text{case 1}}$	= 0	in-lb = $-33.5 \cdot 6.4 \cdot (8 \cdot 2) + 19 \cdot (6 \cdot 2 + 4.375 \cdot 2)$
$R_{lower, \text{case 1}}$	= 0	lb no tension occurs along lower support

Case 2: Wind-inward

# upper fasteners	= 1	(min)
$M_{bottom, \text{case 2}}$	= 638	in-lb = $30.4 \cdot 6.4 \cdot (8 \cdot 2) - 19 \cdot (6 \cdot 2 + 4.375 \cdot 2)$
$R_{upper, \text{case 2}}$	= 67	lb (tension) = $638 / 9.5 \cdot (1 \text{ fasteners})$
# lower fasteners	= 1	(min)
$M_{top, \text{case 2}}$	= 918	in-lb = $30.4 \cdot 6.4 \cdot (8 \cdot 2) + 19 \cdot (6 \cdot 2 + 4.375 \cdot 2)$
$R_{lower, \text{case 2}}$	= 0	lb no tension occurs along lower support

gap/finish thickness	= 0	in (non-structural)
o.d. of pipe spacer	= 0	in
add'l tension	= 0	lb

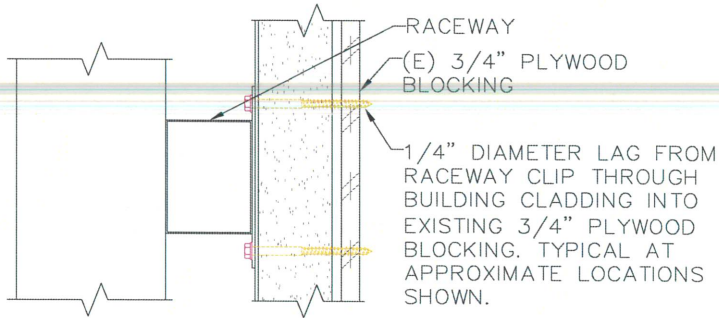
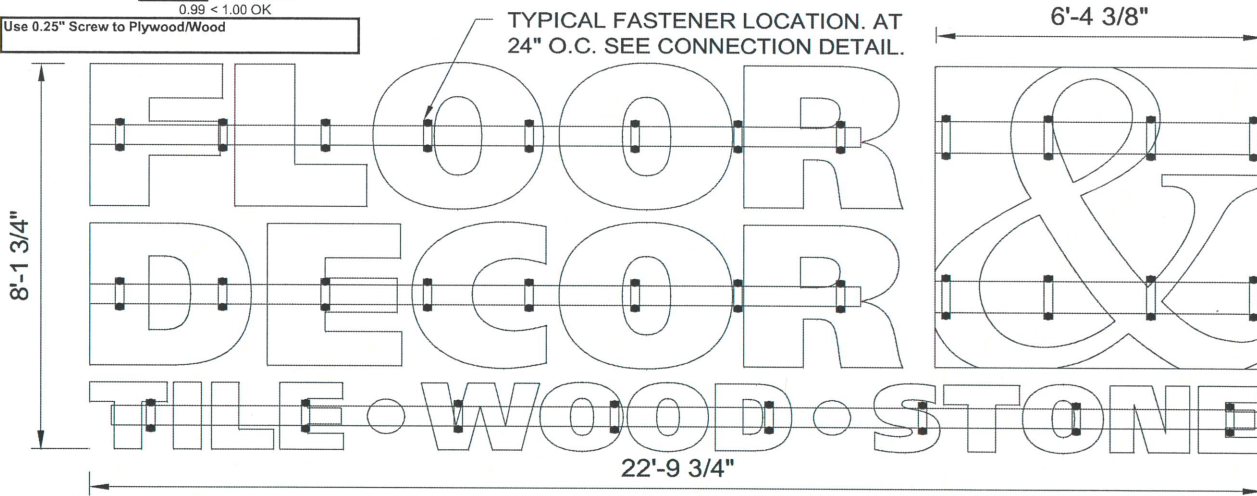
$T_{fastener}$	= 105	lb
$V_{fastener}$	= 10	lb
Wall Const.:	Plywood/Wood	
Fastener Type:	Screw	
Fastener Size:	0.250 in	

T_c	= 112	lb > 105 OK 94%
V_c	= 189	lb > 10 OK 5%
	0.99 < 1.00 OK	

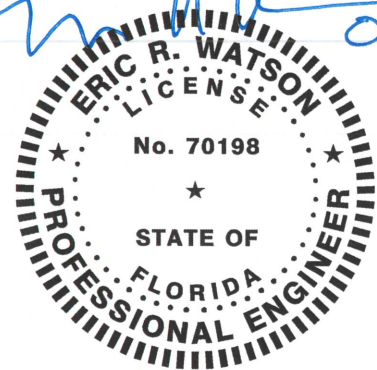
(capacity per APA technical document with $C_d=1.6$)

Use 0.25" Screw to Plywood/Wood

TYPICAL FASTENER LOCATION. AT 24" O.C. SEE CONNECTION DETAIL.



Eric R. Watson
04/02/2023



Project Name Floor & Decor Signage Project # 250498
 Location 2130 SE Federal Highway, Stuart, FL
 Client Cummings Resources LLC
 By CJM Ck'd ERW Date 4/1/2025 Page 1 of 3

9600 SW Oak St #400 503.246.1250
 Portland, OR 97223 miller-se.com

GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND CORRELATION OF ALL ITEMS AND WORK NECESSARY FOR COMPLETION OF THE PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS. SHOULD ANY QUESTION ARISE REGARDING THE CONTRACT DOCUMENTS OR SITE CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION AND CLARIFICATION FROM THE ENGINEER BEFORE BEGINNING THE PROJECT. THE ABSENCE OF SUCH REQUEST SHALL SIGNIFY THAT THE CONTRACTOR HAS REVIEWED AND FAMILIARIZED HIMSELF WITH ALL ASPECTS OF THE PROJECT AND HAS COMPLETE COMPREHENSION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL SAFETY REGULATIONS DURING CONSTRUCTION.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SPECIFICALLY NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION OR CONSTRUCTION LOADS. ONLY THE CONTRACTOR SHALL PROVIDE ALL METHODS, DIRECTION AND RELATED EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN THE FIELD. ANY MATERIAL NOT AS SPECIFIED OR IMPROPER MATERIAL INSTALLATION OR WORKMANSHIP SHALL BE REMOVED AND REPLACED WITH SPECIFIED MATERIAL IN A WORKMANLIKE MANNER AT THE CONTRACTOR'S EXPENSE.

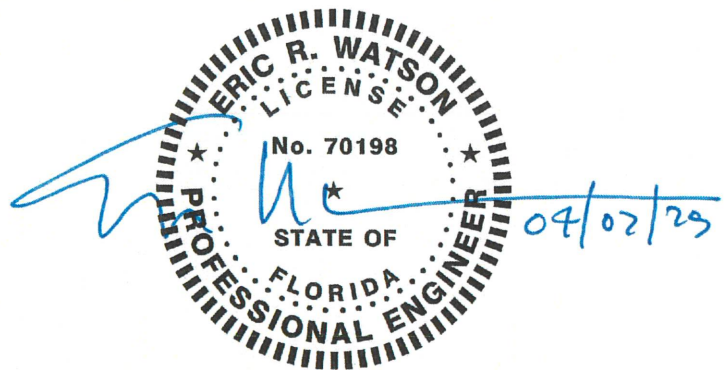
THESE PLANS, SPECIFICATIONS, ENGINEERING AND DESIGN WORK ARE INTENDED SOLELY FOR THE PROJECT SPECIFIED HEREIN. MILLER CONSULTING ENGINEERS DISCLAIMS ALL LIABILITY IF THESE PLANS AND SPECIFICATIONS OR THE DESIGN, ADVICE AND INSTRUCTIONS ATTENDANT THERETO ARE USED ON ANY PROJECT OR AT ANY LOCATION OTHER THAN THE PROJECT AND LOCATION SPECIFIED HEREIN. OBSERVATION VISITS TO THE JOB SITE AND SPECIAL INSPECTIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY UNLESS THE CONTRACT DOCUMENTS SPECIFY OTHERWISE.

NON STRUCTURAL PORTIONS OF PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE PROTECTION, LAND USE, SITE PLANNING, EROSION CONTROL, ELECTRICAL, MECHANICAL, FLASHING AND WATER-PROOFING ARE BEYOND THE SCOPE OF THESE DRAWINGS AND ARE PROVIDED BY OTHERS. EXISTING STRUCTURAL ELEMENTS ARE DESIGNED BY OTHERS. ANALYSIS FOR MOVEMENT DUE TO VORTEX SHEDDING OF WIND FORCES IS NOT INCLUDED IN THE SCOPE OF WORK. IF MOVEMENT CAUSED BY VORTEX SHEDDING IS A CONCERN, WIND TUNNEL TESTING OR OTHER ANALYTICAL MODELS SHALL BE UTILIZED TO EVALUATE THE STRUCTURE. WALL CLADDING/BLOCKING DESIGNED BY OTHERS.

CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO FABRICATION OR INSTALLATION. ENGINEER OF RECORD FOR THE PROJECT IS TO BE NOTIFIED IF CONDITIONS DIFFER FROM WHAT IS SHOWN ON THE DRAWINGS.

BUILDING CODE

ALL PHASES OF THE WORK SHALL CONFORM TO THE 2023 FLORIDA BUILDING CODE, INCLUDING ALL REFERENCE STANDARDS, UNLESS NOTED OTHERWISE.



MILLER
CONSULTING
ENGINEERS

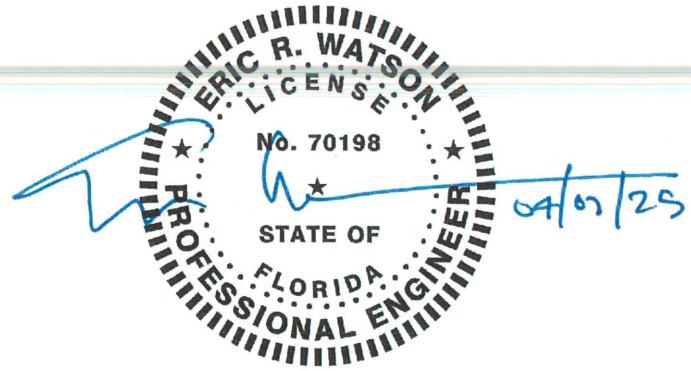
9600 SW Oak St #400 503.246.1250
Portland, OR 97223 miller-se.com

Project Name Floor & Decor Signage Project # 250498
Location 2130 SE Federal Highway, Stuart, FL
Client Cummings Resources LLC
By CJM Ck'd ERW Date 4/1/2025 Page 2 of 3

DESIGN LOADS

THE FOLLOWING ARE THE DESIGN REQUIREMENTS:

STRUCTURAL DESIGN CRITERIA	
RISK CATEGORY	II
WIND DESIGN DATA	
BASIC WIND SPEED (3 SEC GUST)	160 MPH
EXPOSURE	C



POST-INSTALLED ANCHORS

ANCHORS SHALL BE AS SPECIFIED ON THE DRAWINGS. ANCHORS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S INSTALLATION CRITERIA.

STRUCTURAL STEEL

ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE ASTM A992 FOR W-SECTIONS AND ASTM A36 FOR ALL OTHER SECTIONS, PLATES AND BARS. ALL RECTANGULAR HSS SECTIONS SHALL BE ASTM A500, GRADE B, FY= 46000 PSI AND ALL ROUND HSS SECTIONS SHALL BE ASTM A500, GRADE B, FY = 42000 PSI. ALL STRUCTURAL STEEL PIPE SHALL BE ASTM A53, GRADE B, TYPE E OR S, FY= 35000 PSI. ALL STEEL IN CONTACT WITH ALUMINUM TO BE HOT DIPPED GALVANIZED OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION.

UNLESS NOTED OTHERWISE, ALL BOLTS TO BE ASTM A307 AND ALL ANCHOR RODS TO BE ASTM F1554 GRADE 36, WITH MATCHING NUTS. ALL FASTENERS IN CONTACT WITH ALUMINUM TO BE BE HOT DIPPED GALVANIZED WITH MATCHING NUTS OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION. NUTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION PER RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC) SPECIFICATION FOR STRUCTURAL JOINTS, SECTION 8.1.

ALL STRUCTURAL STEEL SHALL HAVE ONE COAT OF PRIMER, EXCEPT SURFACES TO BE EMBEDDED IN CONCRETE OR MASONRY. EMBEDDED SURFACES SHALL BE FREE OF CONTAMINANTS. ALL ZINC (GALV.) COATINGS ON IRON AND STEEL PRODUCTS SHALL CONFORM TO ASTM A123. REPAIRS OF GALVANIZED COATINGS ARE TO CONFORM TO ASTM A780. ALL EXPOSED STRUCTURAL STEEL TO HAVE ONE FINISH COAT OF RUST INHIBITING PAINT, COLOR BY OWNER.

ALL WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.1 USING E70XX ELECTRODES. WELD LENGTHS SHOWN ARE EFFECTIVE AS SPECIFIED PER THE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC). WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS FOR WELD TYPES SPECIFIED. WHERE WELD LENGTHS ARE NOT SHOWN, THE WELD SHALL BE FULL LENGTH OF MEMBERS BEING JOINED. ALL BUTT WELDS SHALL BE FULL PENETRATION WELDS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. ALL WELDS SHALL RECEIVE THE SAME FINISH COAT AS THE MEMBER BEING WELDED.

ALUMINUM

ALL STRUCTURAL ALUMINUM SHAPES AND PLATES TO BE 6061-T6. ALL WELDS TO USE 4043 ALUMINUM FILLER ALLOY. A PROTECTIVE BARRIER SHALL BE PROVIDED BETWEEN ALL STEEL AND ALUMINUM TO PREVENT CORROSION. ALL WELDING TO CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.2. WELD LENGTHS SHOWN ARE EFFECTIVE AS SPECIFIED PER THE ALUMINUM DESIGN MANUAL. WELDING SHALL BE BY AWS CERTIFIED WELDERS FOR WELD TYPES SPECIFIED. WHERE WELD LENGTHS ARE NOT SHOWN, THE WELD SHALL BE FULL LENGTH OF MEMBERS BEING JOINED. ALL BUTT WELDS SHALL BE FULL PENETRATION WELDS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. ALL WELDS TO RECEIVE THE SAME FINISH COAT AS THE MEMBER BEING WELDED. ALL FASTENERS IN CONTACT WITH ALUMINUM TO BE HOT DIPPED GALVANIZED WITH MATCHING NUTS OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION. NUTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION.



9600 SW Oak St #400
Portland, OR 97223

503.246.1250
miller-se.com

Project Name Floor & Decor Signage Project # 250498

Location 2130 SE Federal Highway, Stuart, FL

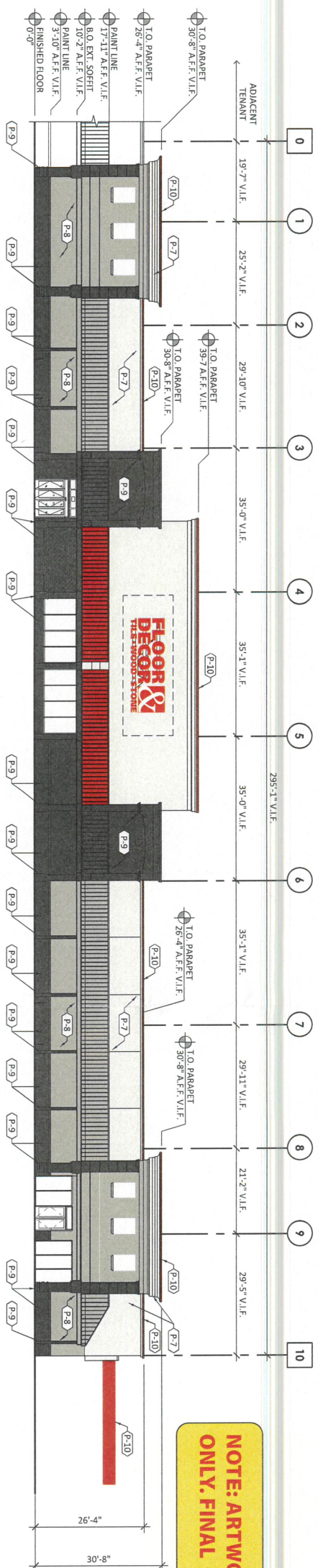
Client Cummings Resources LLC

By CJM Ck'd ERW Date 4/1/2025 Page 3 of 3

OPTION 1

FACE LIT CHANNEL LETTERS / WALL SIGN

ALLOWED: 100.00 SQFT
PROPOSED: 185.94 SQFT

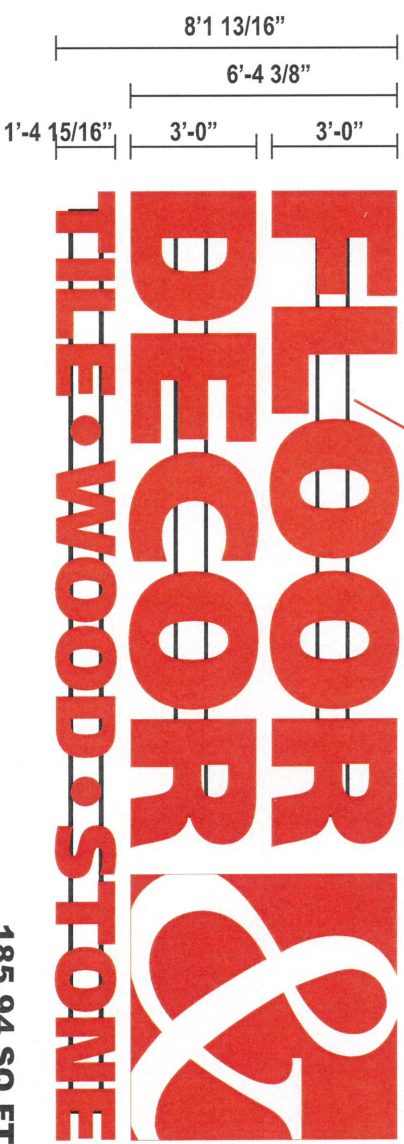


1 FRONT ELEVATION - EAST

SCALE: 1/16" = 1'-0"

S01a

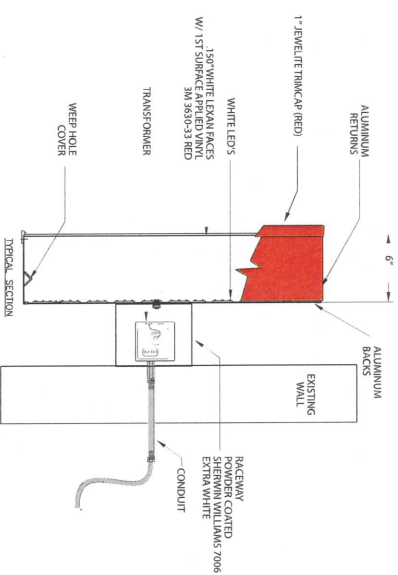
5" X 3.5" RACEWAY SIZE FOR LETTERS/LOGOS SHORTER THAN 4'
8" X 4.375" RACEWAY SIZE FOR LETTERS/LOGOS 4' & TALLER
COLOR OF RACEWAY: TBD



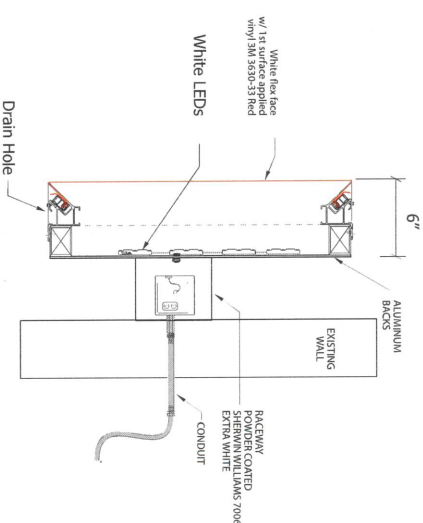
185.94 SQ FT

INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS

Specifications: Channel Letters



Specifications: Wall Sign



- *CHANNEL LETTERS SMALLER THAN 5'**
 - *AMPERSAND SMALLER THAN 4'**
 - RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
 - JEWELITE - 1" RED
 - BACKS - 3MM WHITE ACM
 - LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
 - ILLUMINATION - WHITE LEDS (7600 KELVIN / .76 WATTS PER MOD)
 - POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY
- *AMPERSAND 4' & LARGER**
 - RETURNS - FABRICATED ALUMINUM CABINET (6" DEEP)- PAINTED TO MATCH 3M 3630-33 RED VINYL
 - FACES - 3M PANAGRAPHS III W/ 3M 3630-33 RED VINYL OVERLAY
 - BACKS - 3MM WHITE ACM
 - ILLUMINATION - WHITE LEDS (6500 KELVIN / .76 WATTS PER MOD)
 - POWER SUPPLIES LOCATED IN RACEWAY
- *CHANNEL LETTERS LARGER THAN 5'**
 - RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
 - FACE RETAINERS - 1" ALUMINUM DEADSOFT PAINTED TO MATCH 3M 3630-33 RED VINYL
 - BACKS - 3MM WHITE ACM
 - LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
 - ILLUMINATION - WHITE LEDS (6500 KELVIN / .76 WATTS PER MOD)
 - POWER SUPPLIES LOCATED RACEWAY

CUSTOMER APPROVAL:

DATE: _____

DATE BY

Rev. #1 _____
Rev. #2 _____
Rev. #3 _____

DATE BY

Rev. #4 _____
Rev. #5 _____
Rev. #6 _____



THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY CUMMINGS SIGNS. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF CUMMINGS SIGNS.

DRAWING NO: **1382738604.06**
DATE: 12.23.2024
J. Allington



WALL SIGN DESIGN

Scope of work is for the design of the connection of the wall sign to the existing structure only.
See last two pages for structural notes.

ASCE 7-22 - Components and Cladding

Wind Speed, V_{ult}	=	160	mph
Risk Category	=	II	
Exposure Category	=	C	
Sign Height	=	35.00	ft (max)
Topo. Factor, K_{zt}	=	1.00	
Direct. Factor, K_d	=	0.85	

Corner Zone: No

Resulting Parameters and Coefficients:

Wall External Pressure Coefficients, G_Cp :

G_{Cp} Zone 4 Pos.	=	0.90	
G_{Cp} Zone 5 Pos.	=	0.90	
G_{Cp} Zone 4 Neg.	=	-0.99	
G_{Cp} Zone 5 Neg.	=	-1.26	
a	=	9.50	
z_g	=	900	
K_h	=	1.01	
q_h	=	33.8	psf
Case 1, F (-)	=	-33.5	psf
Case 2, F (+)	=	30.4	psf

$= 0.00256 \cdot 1.01 \cdot 1.085 \cdot 160^2 \cdot (0.6, \text{allowable})$
 $= (-0.99) \cdot 33.8 \text{psf}$
 $= (0.9) \cdot 33.8 \text{psf}$

Sign Geometry:

Overall Height	=	4.24	ft (total)
Clip Spacing	=	1.50	ft (max)
% solid area	=	100%	
Area	=	6.4	ft ²
Bearing Height	=	0.67	ft (this is the height of the portion of the sign bearing against the building)
Sign Thickness	=	6.00	in (channel letters or cabinet)
Sign Dead Load	=	3.00	psf (max)
Appx. Weight	=	19	lb
Vertical offset	=	0.00	in (positive # denotes centroid of sign above centroid of connection)

Geometry Used is for the large logo. (two raceways on the logo)
Use same fastener design for channel letters.

Raceway Behind Channel Letters

Raceway Height	=	8.00	in
Raceway thickness	=	4.38	in
fastener couple	=	9.50	in (vertical)
# of 'rows'	=	2	(minimum)
Total # of fasteners	=	2	(minimum)
$V_{fastener}$	=	10	lb

Case 1: Wind-outward

# upper fasteners	=	1	(min)
$M_{bottom, case 1}$	=	-998	in-lb
$R_{upper, case 1}$	=	105	lb (tension)
# lower fasteners	=	1	(min)
$M_{top, case 1}$	=	0	in-lb
$R_{lower, case 1}$	=	0	lb

Case 2: Wind-inward

# upper fasteners	=	1	(min)
$M_{bottom, case 2}$	=	638	in-lb
$R_{upper, case 2}$	=	67	lb (tension)
# lower fasteners	=	1	(min)
$M_{top, case 2}$	=	918	in-lb
$R_{lower, case 2}$	=	0	lb

gap/finish thickness	=		in (non-structural)
o.d. of pipe spacer	=		in
add'l tension	=	0	lb

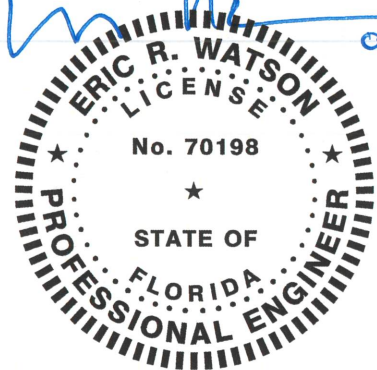
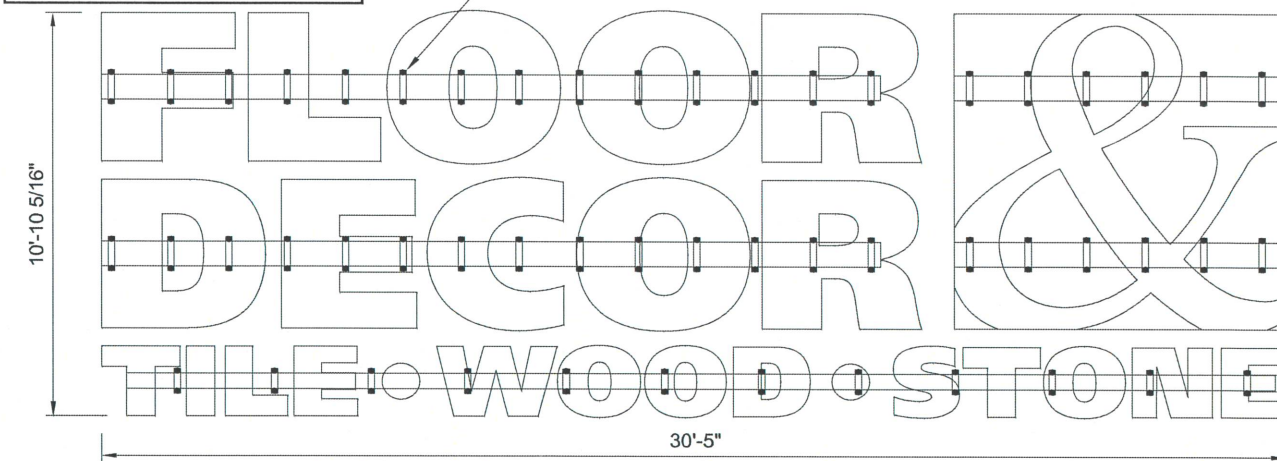
$T_{fastener}$	=	105	lb
$V_{fastener}$	=	10	lb
Wall Const.:	=	Plywood/Wood	
Fastener Type:	=	Screw	
Fastener Size:	=	0.250	in

T_c	=	112	lb > 105 OK 94%
V_c	=	189	lb > 10 OK 5%
	=	0.99	< 1.00 OK

(capacity per APA technical document with $C_d=1.6$)

TYPICAL FASTENER LOCATION AT 18" O.C. SEE CONNECTION DETAIL.

Use 0.25" Screw to Plywood/Wood



Project Name Floor & Decor Signage Project # 250498
 Location 2130 SE Federal Highway, Stuart, FL
 Client Cummings Resources LLC
 By CJM Ck'd ERW Date 4/1/2025 Page 1 of 3

9600 SW Oak St #400 503.246.1250
 Portland, OR 97223 miller-se.com

GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND CORRELATION OF ALL ITEMS AND WORK NECESSARY FOR COMPLETION OF THE PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS. SHOULD ANY QUESTION ARISE REGARDING THE CONTRACT DOCUMENTS OR SITE CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION AND CLARIFICATION FROM THE ENGINEER BEFORE BEGINNING THE PROJECT. THE ABSENCE OF SUCH REQUEST SHALL SIGNIFY THAT THE CONTRACTOR HAS REVIEWED AND FAMILIARIZED HIMSELF WITH ALL ASPECTS OF THE PROJECT AND HAS COMPLETE COMPREHENSION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL SAFETY REGULATIONS DURING CONSTRUCTION.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SPECIFICALLY NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION OR CONSTRUCTION LOADS. ONLY THE CONTRACTOR SHALL PROVIDE ALL METHODS, DIRECTION AND RELATED EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN THE FIELD. ANY MATERIAL NOT AS SPECIFIED OR IMPROPER MATERIAL INSTALLATION OR WORKMANSHIP SHALL BE REMOVED AND REPLACED WITH SPECIFIED MATERIAL IN A WORKMANLIKE MANNER AT THE CONTRACTOR'S EXPENSE.

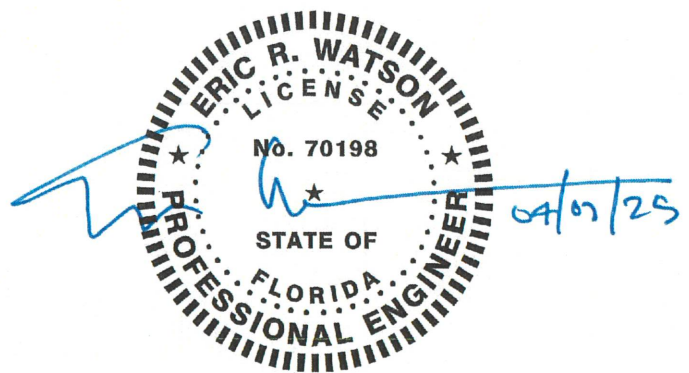
THESE PLANS, SPECIFICATIONS, ENGINEERING AND DESIGN WORK ARE INTENDED SOLELY FOR THE PROJECT SPECIFIED HEREIN. MILLER CONSULTING ENGINEERS DISCLAIMS ALL LIABILITY IF THESE PLANS AND SPECIFICATIONS OR THE DESIGN, ADVICE AND INSTRUCTIONS ATTENDANT THERETO ARE USED ON ANY PROJECT OR AT ANY LOCATION OTHER THAN THE PROJECT AND LOCATION SPECIFIED HEREIN. OBSERVATION VISITS TO THE JOB SITE AND SPECIAL INSPECTIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY UNLESS THE CONTRACT DOCUMENTS SPECIFY OTHERWISE.

NON STRUCTURAL PORTIONS OF PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE PROTECTION, LAND USE, SITE PLANNING, EROSION CONTROL, ELECTRICAL, MECHANICAL, FLASHING AND WATER-PROOFING ARE BEYOND THE SCOPE OF THESE DRAWINGS AND ARE PROVIDED BY OTHERS. EXISTING STRUCTURAL ELEMENTS ARE DESIGNED BY OTHERS. ANALYSIS FOR MOVEMENT DUE TO VORTEX SHEDDING OF WIND FORCES IS NOT INCLUDED IN THE SCOPE OF WORK. IF MOVEMENT CAUSED BY VORTEX SHEDDING IS A CONCERN, WIND TUNNEL TESTING OR OTHER ANALYTICAL MODELS SHALL BE UTILIZED TO EVALUATE THE STRUCTURE. WALL CLADDING/BLOCKING DESIGNED BY OTHERS.

CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO FABRICATION OR INSTALLATION. ENGINEER OF RECORD FOR THE PROJECT IS TO BE NOTIFIED IF CONDITIONS DIFFER FROM WHAT IS SHOWN ON THE DRAWINGS.

BUILDING CODE

ALL PHASES OF THE WORK SHALL CONFORM TO THE 2023 FLORIDA BUILDING CODE, INCLUDING ALL REFERENCE STANDARDS, UNLESS NOTED OTHERWISE.



MILLER
CONSULTING
ENGINEERS

9600 SW Oak St #400 503.246.1250
Portland, OR 97223 miller-se.com

Project Name Floor & Decor Signage Project # 250498

Location 2130 SE Federal Highway, Stuart, FL

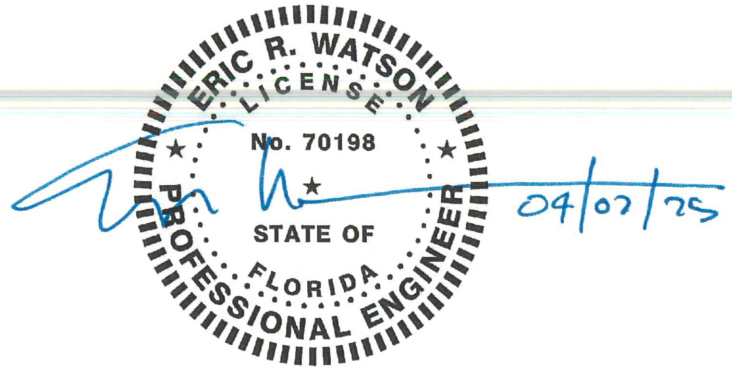
Client Cummings Resources LLC

By CJM Ck'd ERW Date 4/1/2025 Page 2 of 3

DESIGN LOADS

THE FOLLOWING ARE THE DESIGN REQUIREMENTS:

STRUCTURAL DESIGN CRITERIA	
RISK CATEGORY	II
WIND DESIGN DATA	
BASIC WIND SPEED (3 SEC GUST)	160 MPH
EXPOSURE	C



POST-INSTALLED ANCHORS

ANCHORS SHALL BE AS SPECIFIED ON THE DRAWINGS. ANCHORS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S INSTALLATION CRITERIA.

STRUCTURAL STEEL

ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE ASTM A992 FOR W-SECTIONS AND ASTM A36 FOR ALL OTHER SECTIONS, PLATES AND BARS. ALL RECTANGULAR HSS SECTIONS SHALL BE ASTM A500, GRADE B, FY= 46000 PSI AND ALL ROUND HSS SECTIONS SHALL BE ASTM A500, GRADE B, FY = 42000 PSI. ALL STRUCTURAL STEEL PIPE SHALL BE ASTM A53, GRADE B, TYPE E OR S, FY= 35000 PSI. ALL STEEL IN CONTACT WITH ALUMINUM TO BE HOT DIPPED GALVANIZED OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION.

UNLESS NOTED OTHERWISE, ALL BOLTS TO BE ASTM A307 AND ALL ANCHOR RODS TO BE ASTM F1554 GRADE 36, WITH MATCHING NUTS. ALL FASTENERS IN CONTACT WITH ALUMINUM TO BE BE HOT DIPPED GALVANIZED WITH MATCHING NUTS OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION. NUTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION PER RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC) SPECIFICATION FOR STRUCTURAL JOINTS, SECTION 8.1.

ALL STRUCTURAL STEEL SHALL HAVE ONE COAT OF PRIMER, EXCEPT SURFACES TO BE EMBEDDED IN CONCRETE OR MASONRY. EMBEDDED SURFACES SHALL BE FREE OF CONTAMINANTS. ALL ZINC (GALV.) COATINGS ON IRON AND STEEL PRODUCTS SHALL CONFORM TO ASTM A123. REPAIRS OF GALVANIZED COATINGS ARE TO CONFORM TO ASTM A780. ALL EXPOSED STRUCTURAL STEEL TO HAVE ONE FINISH COAT OF RUST INHIBITING PAINT, COLOR BY OWNER.

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ALUMINUM

ALL STRUCTURAL ALUMINUM SHAPES AND PLATES TO BE 6061-T6. ALL WELDS TO USE 4043 ALUMINUM FILLER ALLOY. A PROTECTIVE BARRIER SHALL BE PROVIDED BETWEEN ALL STEEL AND ALUMINUM TO PREVENT CORROSION. ALL WELDING TO CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.2. WELD LENGTHS SHOWN ARE EFFECTIVE AS SPECIFIED PER THE ALUMINUM DESIGN MANUAL. WELDING SHALL BE BY AWS CERTIFIED WELDERS FOR WELD TYPES SPECIFIED. WHERE WELD LENGTHS ARE NOT SHOWN, THE WELD SHALL BE FULL LENGTH OF MEMBERS BEING JOINED. ALL BUTT WELDS SHALL BE FULL PENETRATION WELDS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. ALL WELDS TO RECEIVE THE SAME FINISH COAT AS THE MEMBER BEING WELDED. ALL FASTENERS IN CONTACT WITH ALUMINUM TO BE HOT DIPPED GALVANIZED WITH MATCHING NUTS OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION. NUTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION.



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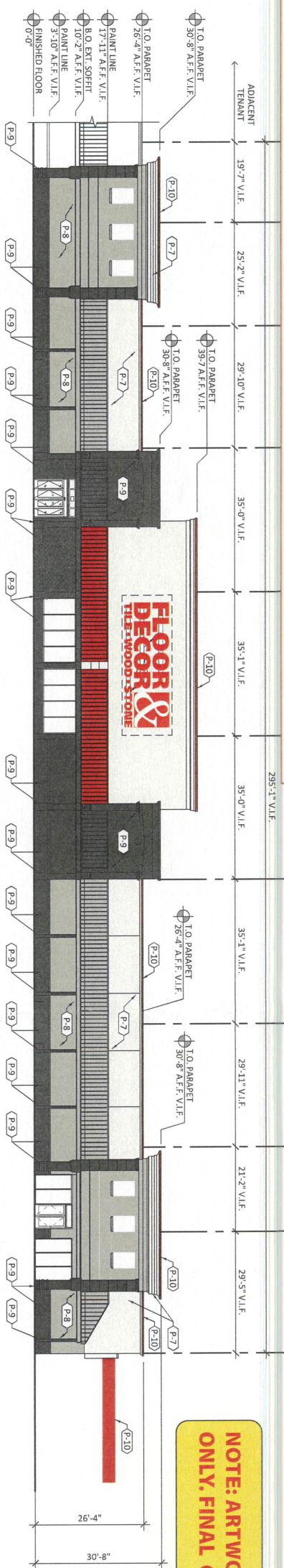
By CJM Ck'd ERW Date 4/1/2025 Page 3 of 3

OPTION 2

FACE LIT CHANNEL LETTERS / WALL SIGN

NOTE: PRESENTATION ART ONLY, VARIANCE REQUIRED

**ALLOWED: 81.72 SQFT
PROPOSED: 330.46 SQFT**



1 FRONT ELEVATION - EAST

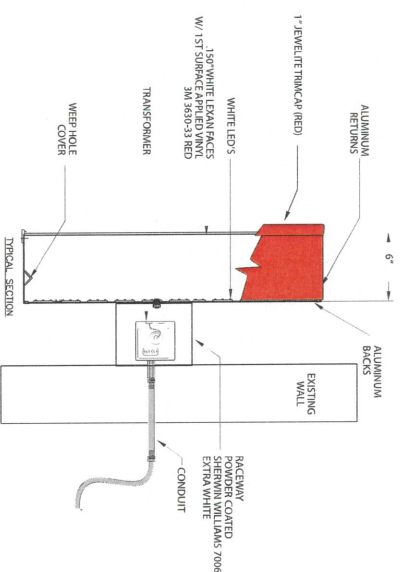
SCALE: 1/16" = 1'-0"

S01b

**5" X 3.5" RACEWAY SIZE FOR LETTERS/LOGOS SHORTER THAN 4'
8" X 4.375" RACEWAY SIZE FOR LETTERS/LOGOS 4' & TALLER
COLOR OF RACEWAY: TBD**

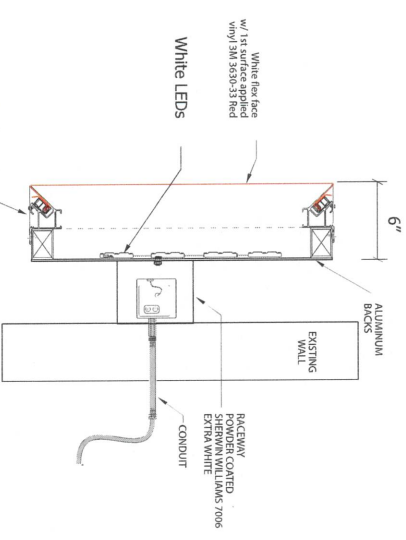


INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS



Section @ LED Channel Ltr
Scale: N.T.S.

Specifications: Channel Letters



Section @ Wall Sign
Scale: N.T.S.

Specifications: Wall Sign

- *CHANNEL LETTERS SMALLER THAN 5'
- *AMPERSAND SMALLER THAN 4'
- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- JEWELITE - 1" RED
- BACKS - 3MM WHITE ACM
- LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDS (7600 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY

- *AMPERSAND 4' & LARGER
- RETURNS - FABRICATED ALUMINUM CABINET (6" DEEP)- PAINTED TO MATCH 3M 3630-33 RED VINYL
- FACES - 3M PANAGRAPHS III W/ 3M 3630-33 RED VINYL OVERLAY
- BACKS - 3MM WHITE ACM
- ILLUMINATION - WHITE LEDS (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN RACEWAY

- *CHANNEL LETTERS LARGER THAN 5'
- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- FACE RETAINERS - 1" ALUMINUM DEADSOFT PAINTED TO MATCH 3M 3630-33 RED VINYL
- BACKS - 3MM WHITE ACM
- LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDS (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED RACEWAY



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CUSTOMER APPROVAL:

DATE: _____

Rev. #1 _____

Rev. #4 _____

Rev. #2 _____

Rev. #5 _____

Rev. #3 _____

Rev. #6 _____



DRAWING NO:

1382738604.06

DATE: 12.23.2024

J. Allington

WALL SIGN DESIGN

Scope of work is for the design of the connection of the wall sign to the existing structure only.
See last two pages for structural notes.

ASCE 7-22 - Components and Cladding

Wind Speed, V_{ult}	=	160	mph
Risk Category	=	II	
Exposure Category	=	C	
Sign Height	=	35.00	ft (max)
Topo. Factor, K_{zt}	=	1.00	
Direct. Factor, K_d	=	0.85	

Corner Zone: No
Resulting Parameters and Coefficients:
Wall External Pressure Coefficients, GCP :

GCP Zone 4 Pos.	=	0.90	
GCP Zone 5 Pos.	=	0.90	
GCP Zone 4 Neg.	=	-0.99	
GCP Zone 5 Neg.	=	-1.26	
a	=	9.50	
z_g	=	900	
K_h	=	1.01	
q_h	=	33.8	psf
Case 1, $F(-)$	=	-33.5	psf
Case 2, $F(+)$	=	30.4	psf

$= 0.00256 * 1.01 * 1.0 * 0.85 * 160^2 * (0.6, \text{allowable})$
 $= (-0.99) * 33.8 \text{ psf}$
 $= (0.9) * 33.8 \text{ psf}$

Sign Geometry:

Overall Height	=	1.00	ft (total)
Clip Spacing	=	4.00	ft (max)
% solid area	=	100%	
Area	=	4.0	ft ² = 1'4" * 100%
Bearing Height	=	0.42	ft (this is the height of the portion of the sign bearing against the building)
Sign Thickness	=	6.00	in (channel letters or cabinet)
Sign Dead Load	=	3.00	psf (max)
Appx. Weight	=	12	lb = 3psf * 4
Vertical offset	=	0.00	in (positive # denotes centroid of sign above centroid of connection)

Raceway Behind Channel Letters

Raceway Height	=	5.00	in
Raceway thickness	=	3.50	in
fastener couple	=	6.50	in (vertical)
# of 'rows'	=	2	(minimum)
Total # of fasteners	=	2	(minimum)
	=	50%	of fasteners resisting tension due to eccentricities (along top of connection)
$V_{fastener}$	=	6	lb = 12 / (2 fasteners)

Case 1: Wind-outward

# upper fasteners	=	1	(min)
$M_{bottom, \text{case 1}}$	=	-413	in-lb = $-33.5 * 4 * (5/2) - 12 * (6/2 + 3.5)$
$R_{upper, \text{case 1}}$	=	64	lb (tension) = $413 / 6.5 * (1 \text{ fasteners})$
# lower fasteners	=	1	(min)
$M_{top, \text{case 1}}$	=	0	in-lb = $-33.5 * 4 * (5/2) + 12 * (6/2 + 3.5)$
$R_{lower, \text{case 1}}$	=	0	lb no tension occurs along lower support

Case 2: Wind-inward

# upper fasteners	=	1	(min)
$M_{bottom, \text{case 2}}$	=	226	in-lb = $30.4 * 4 * (5/2) - 12 * (6/2 + 3.5)$
$R_{upper, \text{case 2}}$	=	35	lb (tension) = $226 / 6.5 * (1 \text{ fasteners})$
# lower fasteners	=	1	(min)
$M_{top, \text{case 2}}$	=	382	in-lb = $30.4 * 4 * (5/2) + 12 * (6/2 + 3.5)$
$R_{lower, \text{case 2}}$	=	0	lb no tension occurs along lower support

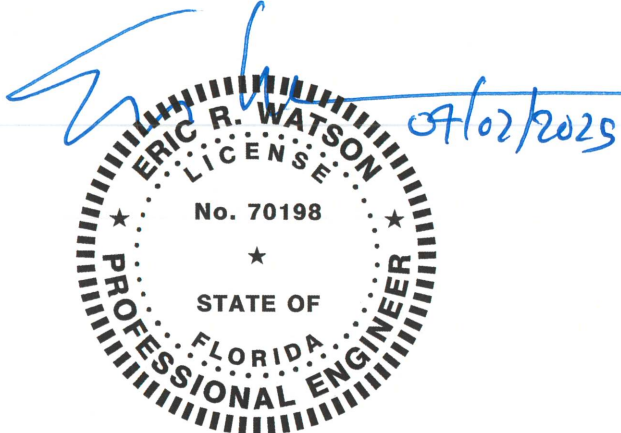
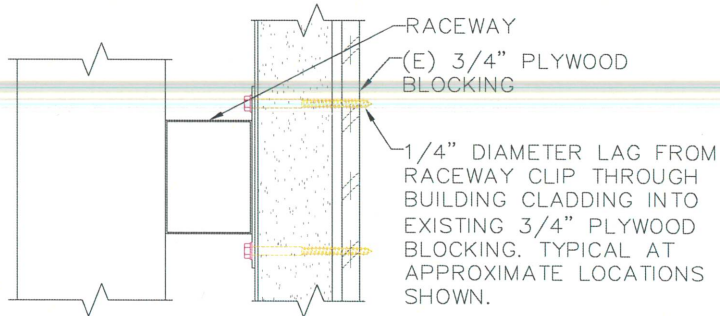
gap/finish thickness	=		in (non-structural)
o.d. of pipe spacer	=		in
add'l tension	=	0	lb

$T_{fastener}$	=	64	lb
$V_{fastener}$	=	6	lb
Wall Const.:	=	Plywood/Wood	
Fastener Type:	=	Screw	

Fastener Size:	=	0.250	in
T_c	=	112	lb > 64 OK 57%
V_c	=	189	lb > 6 OK 3%
	=	0.60	< 1.00 OK

(capacity per APA technical document with $C_d=1.6$)

Use 0.25" Screw to Plywood/Wood



TYPICAL FASTENER LOCATION. AT 48" O.C. SEE CONNECTION DETAIL.



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503.246.1250
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Project Name Floor & Decor Signage Project # 250498
 Location 2130 SE Federal Highway, Stuart, FL
 Client Cummings Resources LLC
 By CJM Ck'd ERW Date 4/1/2025 Page 1 of 3

GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND CORRELATION OF ALL ITEMS AND WORK NECESSARY FOR COMPLETION OF THE PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS. SHOULD ANY QUESTION ARISE REGARDING THE CONTRACT DOCUMENTS OR SITE CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION AND CLARIFICATION FROM THE ENGINEER BEFORE BEGINNING THE PROJECT. THE ABSENCE OF SUCH REQUEST SHALL SIGNIFY THAT THE CONTRACTOR HAS REVIEWED AND FAMILIARIZED HIMSELF WITH ALL ASPECTS OF THE PROJECT AND HAS COMPLETE COMPREHENSION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL SAFETY REGULATIONS DURING CONSTRUCTION.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SPECIFICALLY NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION OR CONSTRUCTION LOADS. ONLY THE CONTRACTOR SHALL PROVIDE ALL METHODS, DIRECTION AND RELATED EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN THE FIELD. ANY MATERIAL NOT AS SPECIFIED OR IMPROPER MATERIAL INSTALLATION OR WORKMANSHIP SHALL BE REMOVED AND REPLACED WITH SPECIFIED MATERIAL IN A WORKMANLIKE MANNER AT THE CONTRACTOR'S EXPENSE.

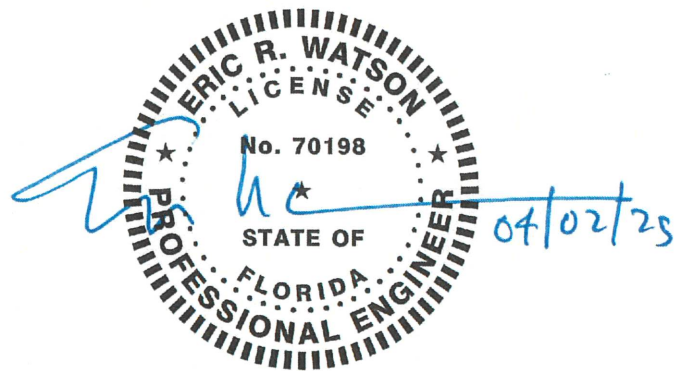
THESE PLANS, SPECIFICATIONS, ENGINEERING AND DESIGN WORK ARE INTENDED SOLELY FOR THE PROJECT SPECIFIED HEREIN. MILLER CONSULTING ENGINEERS DISCLAIMS ALL LIABILITY IF THESE PLANS AND SPECIFICATIONS OR THE DESIGN, ADVICE AND INSTRUCTIONS ATTENDANT THERETO ARE USED ON ANY PROJECT OR AT ANY LOCATION OTHER THAN THE PROJECT AND LOCATION SPECIFIED HEREIN. OBSERVATION VISITS TO THE JOB SITE AND SPECIAL INSPECTIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY UNLESS THE CONTRACT DOCUMENTS SPECIFY OTHERWISE.

NON STRUCTURAL PORTIONS OF PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE PROTECTION, LAND USE, SITE PLANNING, EROSION CONTROL, ELECTRICAL, MECHANICAL, FLASHING AND WATER-PROOFING ARE BEYOND THE SCOPE OF THESE DRAWINGS AND ARE PROVIDED BY OTHERS. EXISTING STRUCTURAL ELEMENTS ARE DESIGNED BY OTHERS. ANALYSIS FOR MOVEMENT DUE TO VORTEX SHEDDING OF WIND FORCES IS NOT INCLUDED IN THE SCOPE OF WORK. IF MOVEMENT CAUSED BY VORTEX SHEDDING IS A CONCERN, WIND TUNNEL TESTING OR OTHER ANALYTICAL MODELS SHALL BE UTILIZED TO EVALUATE THE STRUCTURE. WALL CLADDING/BLOCKING DESIGNED BY OTHERS.

CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO FABRICATION OR INSTALLATION. ENGINEER OF RECORD FOR THE PROJECT IS TO BE NOTIFIED IF CONDITIONS DIFFER FROM WHAT IS SHOWN ON THE DRAWINGS.

BUILDING CODE

ALL PHASES OF THE WORK SHALL CONFORM TO THE 2023 FLORIDA BUILDING CODE, INCLUDING ALL REFERENCE STANDARDS, UNLESS NOTED OTHERWISE.



MILLER
CONSULTING
ENGINEERS

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Portland, OR 97223

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Project Name Floor & Decor Signage Project # 250498

Location 2130 SE Federal Highway, Stuart, FL

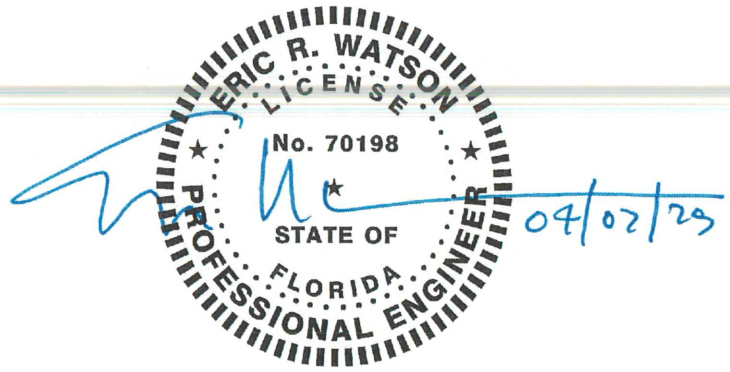
Client Cummings Resources LLC

By CJM Ck'd ERW Date 4/1/2025 Page 2 of 3

DESIGN LOADS

THE FOLLOWING ARE THE DESIGN REQUIREMENTS:

STRUCTURAL DESIGN CRITERIA	
RISK CATEGORY	II
WIND DESIGN DATA	
BASIC WIND SPEED (3 SEC GUST)	160 MPH
EXPOSURE	C



POST-INSTALLED ANCHORS

ANCHORS SHALL BE AS SPECIFIED ON THE DRAWINGS. ANCHORS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S INSTALLATION CRITERIA.

STRUCTURAL STEEL

ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE ASTM A992 FOR W-SECTIONS AND ASTM A36 FOR ALL OTHER SECTIONS, PLATES AND BARS. ALL RECTANGULAR HSS SECTIONS SHALL BE ASTM A500, GRADE B, FY= 46000 PSI AND ALL ROUND HSS SECTIONS SHALL BE ASTM A500, GRADE B, FY = 42000 PSI. ALL STRUCTURAL STEEL PIPE SHALL BE ASTM A53, GRADE B, TYPE E OR S, FY= 35000 PSI. ALL STEEL IN CONTACT WITH ALUMINUM TO BE HOT DIPPED GALVANIZED OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION.

UNLESS NOTED OTHERWISE, ALL BOLTS TO BE ASTM A307 AND ALL ANCHOR RODS TO BE ASTM F1554 GRADE 36, WITH MATCHING NUTS. ALL FASTENERS IN CONTACT WITH ALUMINUM TO BE BE HOT DIPPED GALVANIZED WITH MATCHING NUTS OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION. NUTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION PER RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC) SPECIFICATION FOR STRUCTURAL JOINTS, SECTION 8.1.

ALL STRUCTURAL STEEL SHALL HAVE ONE COAT OF PRIMER, EXCEPT SURFACES TO BE EMBEDDED IN CONCRETE OR MASONRY. EMBEDDED SURFACES SHALL BE FREE OF CONTAMINANTS. ALL ZINC (GALV.) COATINGS ON IRON AND STEEL PRODUCTS SHALL CONFORM TO ASTM A123. REPAIRS OF GALVANIZED COATINGS ARE TO CONFORM TO ASTM A780. ALL EXPOSED STRUCTURAL STEEL TO HAVE ONE FINISH COAT OF RUST INHIBITING PAINT, COLOR BY OWNER.

ALL WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.1 USING E70XX ELECTRODES. WELD LENGTHS SHOWN ARE EFFECTIVE AS SPECIFIED PER THE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC). WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS FOR WELD TYPES SPECIFIED. WHERE WELD LENGTHS ARE NOT SHOWN, THE WELD SHALL BE FULL LENGTH OF MEMBERS BEING JOINED. ALL BUTT WELDS SHALL BE FULL PENETRATION WELDS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. ALL WELDS SHALL RECEIVE THE SAME FINISH COAT AS THE MEMBER BEING WELDED.

ALUMINUM

ALL STRUCTURAL ALUMINUM SHAPES AND PLATES TO BE 6061-T6. ALL WELDS TO USE 4043 ALUMINUM FILLER ALLOY. A PROTECTIVE BARRIER SHALL BE PROVIDED BETWEEN ALL STEEL AND ALUMINUM TO PREVENT CORROSION. ALL WELDING TO CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.2. WELD LENGTHS SHOWN ARE EFFECTIVE AS SPECIFIED PER THE ALUMINUM DESIGN MANUAL. WELDING SHALL BE BY AWS CERTIFIED WELDERS FOR WELD TYPES SPECIFIED. WHERE WELD LENGTHS ARE NOT SHOWN, THE WELD SHALL BE FULL LENGTH OF MEMBERS BEING JOINED. ALL BUTT WELDS SHALL BE FULL PENETRATION WELDS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. ALL WELDS TO RECEIVE THE SAME FINISH COAT AS THE MEMBER BEING WELDED. ALL FASTENERS IN CONTACT WITH ALUMINUM TO BE HOT DIPPED GALVANIZED WITH MATCHING NUTS OR HAVE A PROTECTIVE BARRIER TO PREVENT CORROSION. NUTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION.



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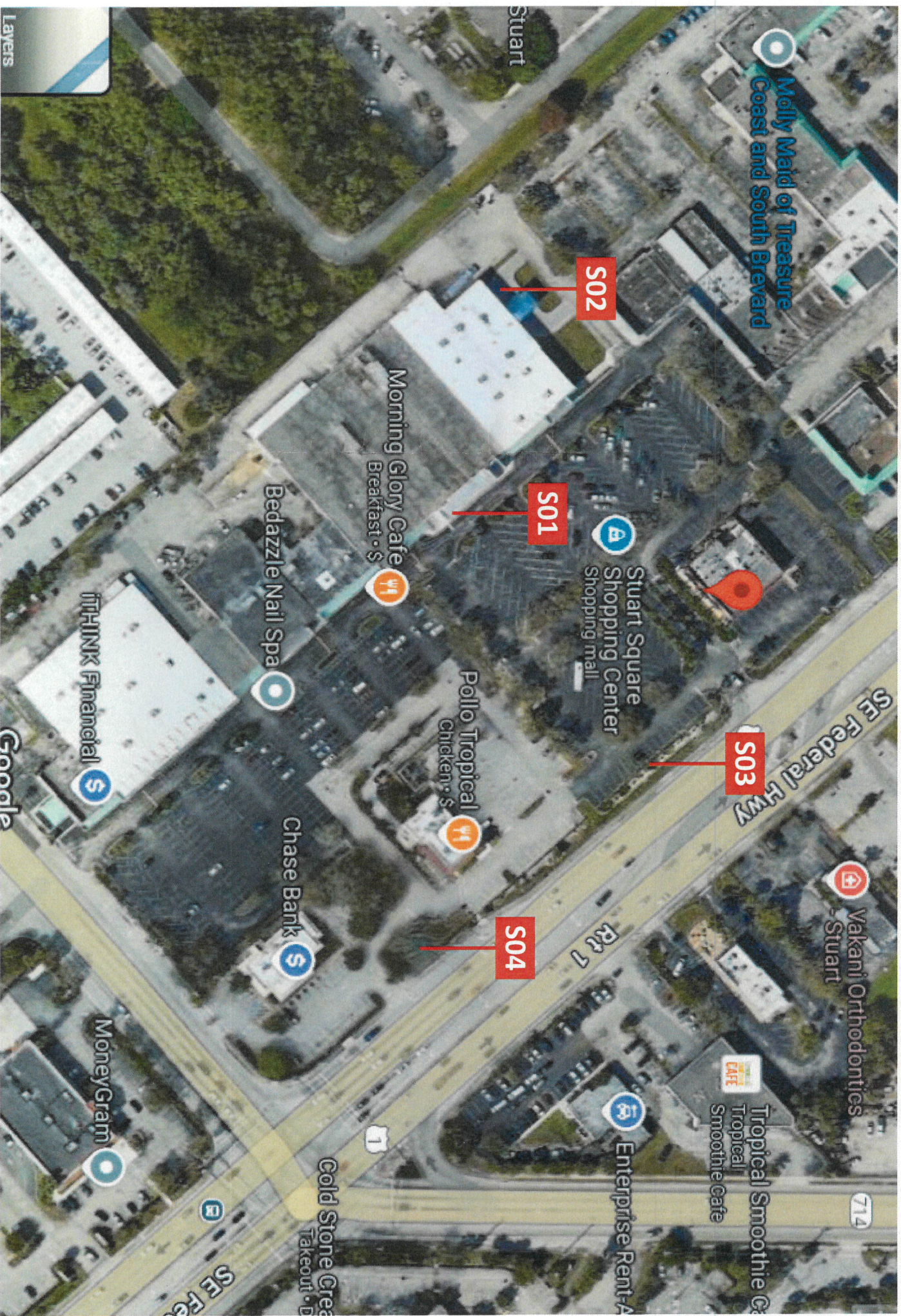
Location 2130 SE Federal Highway, Stuart, FL

Client Cummings Resources LLC

By CJM Ck'd ERW Date 4/1/2025 Page 3 of 3

CODE NOTES:
WALL SIGNS: ONLY (2) ALLOWED PER OCCUPANT
1.5 SQ. FT. FOR FIRST 25 LINEAR FEET OCCUPANCY; THEN 1 SQ. FT. PER LINEAR FOOT OVER 25 LINEAR FEET OCCUPANCY
(NOT TO EXCEED 100 SQ. FT. PER OCCUPANCY)

S01a	Type: 36 Floor & Decor TWS (Stacked) Illumination: Individual Channel Letters Wall Sign Square Footage: 185.94
S01b	Type: 48 Floor & Decor TWS (Stacked) Illumination: Individual Channel Letters Wall Sign Square Footage: 330.46
S02	Type: 12" Customer Pick-Up (Linear) Illumination: Individual Channel Letters Wall Sign Square Footage: 12.77
S03	Type: Monument Tenant Panel Illumination: Flat Face W/ Vinyl Graphics Square Footage: 13.8
S04	Type: Monument Tenant Panel Illumination: Flat Face W/ Vinyl Graphics Square Footage: 13.8



CUMMINGS

THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT.

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Rev. #3		
Rev. #4	DATE	BY
Rev. #5		
Rev. #6		

FLOOR & DECOR

DRAWING NO: **1382738604.06**

DATE: 12.23.2024

J Allington



10130 Northlake Blvd. Suite 214-301 West Palm Beach, FL 33412

Floor & Decor
2130 SE Federal Highway
Stuart FL 34994

City of Stuart Zoning Division
121 SW Flagler Ave Stuart, FL 34994

Dear Members of the LPA

I am writing to respectfully request a variance from the signage requirements in accordance with the City of Stuart. Our business, Floor & Decor that is located at 2130 SE Federal Highway Stuart FL 34994 and we seek approval for a variance from the current sign regulations.

As outlined in the ordinance, signs are typically required to conform to the limitation of 100 sq. ft. for the front East wall sign Option (1) S01a Option(2) S01b and Wall sign North wall sign Option (1) S02

However, after reviewing the criteria, we have found that strict adherence to these regulations would impose a significant hardship on our ability to effectively market our business.

I would like to explain why:

1. Visibility and Location Constraints: Our property is located on SE Federal Highway with strict wall sign limitation requirements, which makes it challenging for passing motorists or pedestrians to see the current signage. The proximity of nearby buildings, trees, or other structures limit the effectiveness of our existing sign. A larger or more strategically placed sign would significantly improve visibility and allow us to better advertise to potential customers.
2. Economic Impact: Our business is heavily dependent on local customers who may not be aware of our location. Without an appropriate and visible sign, we risk losing potential business, which in turn affects our ability to stay competitive and contribute to the local economy. A variance would allow us to increase foot traffic and revenue, which would help sustain jobs and provide services to the community.
3. Aesthetic and Character Preservation: We understand the importance of preserving the aesthetic and character of the neighborhood. The proposed sign is designed in a way that is consistent with the surrounding architecture and landscaping, and it would not disrupt the visual harmony of the area. We are committed to ensuring that The sign is tasteful and complements the environment.
4. Practical Difficulty: Due to the requirements of the southern live oak trees in the front of our building, adhering to the strict sign regulations would present significant practical difficulties. For example, installing a sign that meets the current regulations would require additional costs to manufacture a custom sign as well as compromising our brand image.

The following applies as well with the proposal of this sign variance.

- * Does not increase or enlarge the density, intensity of use, footprint, or any dimension of the overall plan by more than five percent; and
- * Does not increase or enlarge the exterior "footprint" of commercial, industrial or multi-family residential buildings by more than 1,000 square feet of building, or more than 1,000 square feet of additional impervious area; or
- Does not increase or enlarge the "footprint" of single family or small multi-family (four or fewer dwelling units) buildings by more than 360 square feet of building, or no more than 360 square feet of additional impervious area is requested; and where the scope and intent of any variance approved by the board of adjustment, or scope and intent of any site plan previously approved by the city commission is not violated.

In conclusion, we believe that granting this variance will not only serve the best interests of our business but will also benefit the community by providing a more accessible and visible location for our services.

We respectfully request your consideration and approval of this variance, as it will help mitigate the challenges we face while still adhering to the broader goals of the zoning ordinance.

Respectfully

Ricky Torres

CODE NOTES:
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1.5 SQ. FT. FOR FIRST 25 LINEAR FEET OCCUPANCY; THEN 1 SQ. FT. PER LINEAR FOOT OVER 25 LINEAR FEET OCCUPANCY
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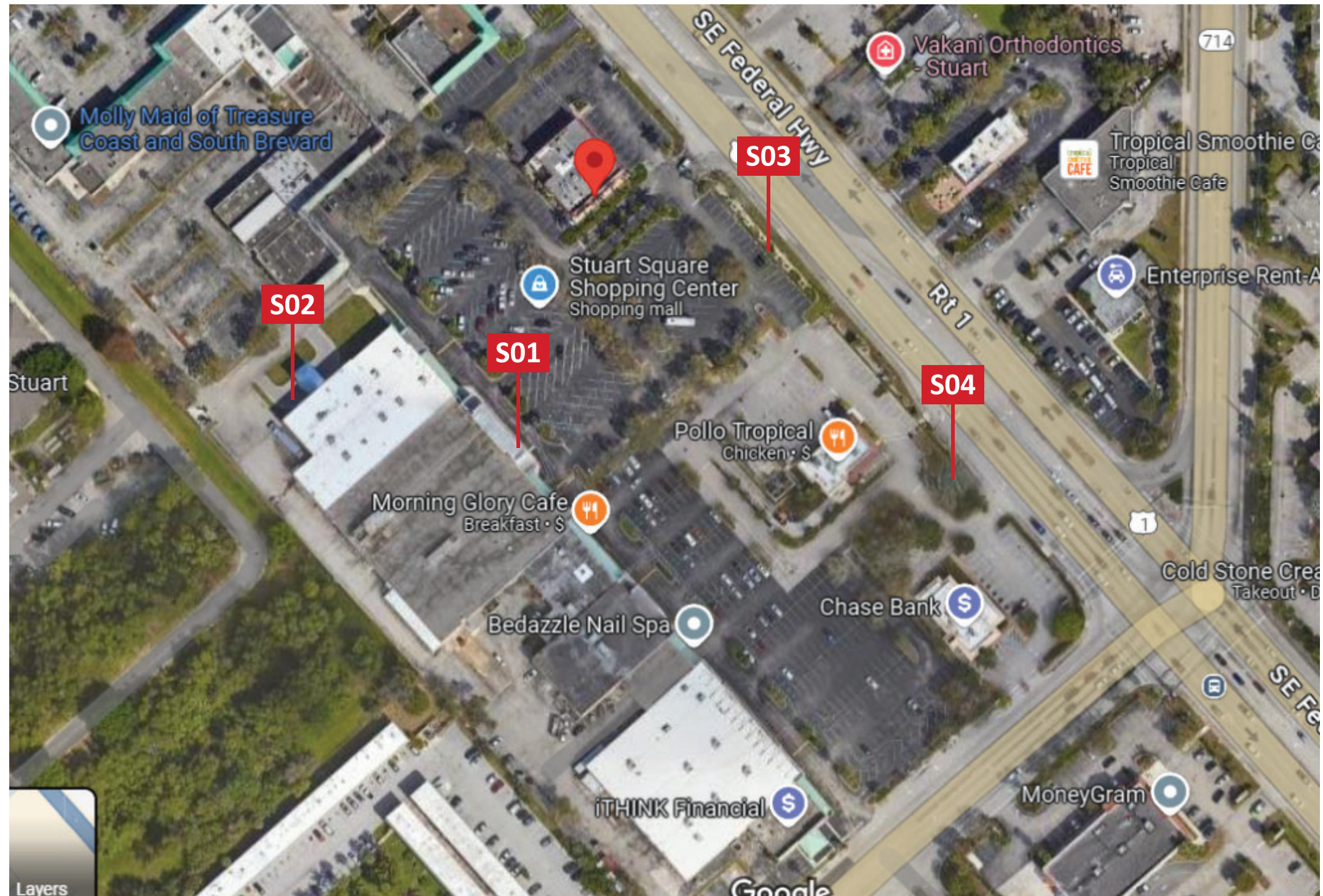
S01a	36 Floor & Decor TWS (Stacked)
Type:	Individual Channel Letters Wall Sign
Illumination:	Internally Illuminated LED
Square Footage:	185.94

S01b	48 Floor & Decor TWS (Stacked)
Type:	Individual Channel Letters Wall Sign
Illumination:	Internally Illuminated LED
Square Footage:	330.46

S02	12" Customer Pick-Up (Linear)
Type:	Individual Channel Letters Wall Sign
Illumination:	Internally Illuminated LED
Square Footage:	12.77

S03	Monument Tenant Panel
Type:	Flat Face W/ Vinyl Graphics
Illumination:	Existing
Square Footage:	13.8

S04	Monument Tenant Panel
Type:	Flat Face W/ Vinyl Graphics
Illumination:	Existing
Square Footage:	13.8



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Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



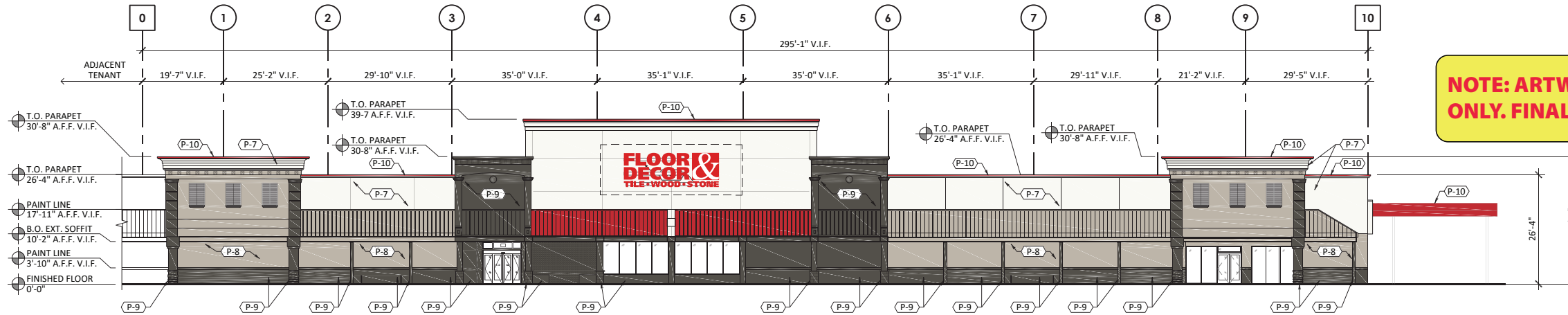
DRAWING NO:
1382738604.06
 DATE: 12.23.2024
 J. Allington

OPTION 1

FACE LIT CHANNEL LETTERS / WALL SIGN

ALLOWED: 100.00 SQFT
PROPOSED: 185.94 SQFT

NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONSTRUCTION DETAILS TBD BY ENGINEERING.



1 FRONT ELEVATION - EAST
SCALE: 1/16" = 1'-0"

5" X 3.5" RACEWAY SIZE FOR LETTERS/LOGOS SHORTER THAN 4'
8" X 4.375" RACEWAY SIZE FOR LETTERS/LOGOS 4' & TALLER
COLOR OF RACEWAY: TBD



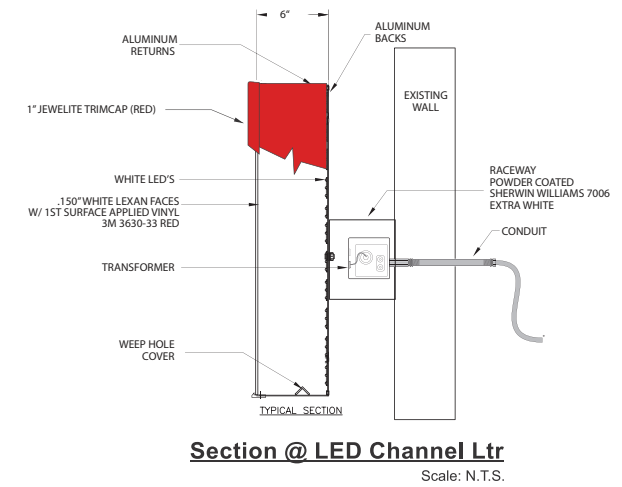
185.94 SQ FT

INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS

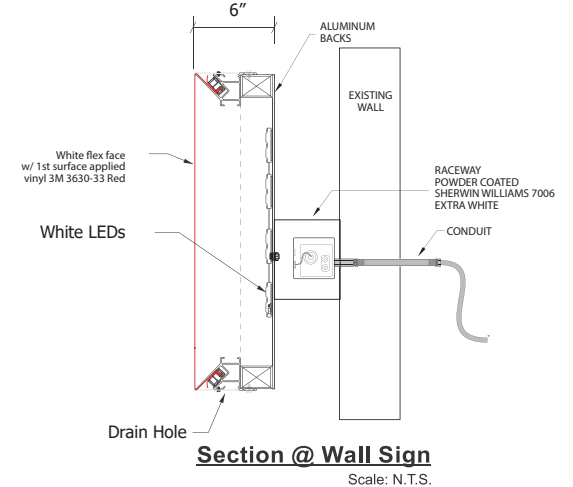
- *CHANNEL LETTERS SMALLER THAN 5'**
***AMPERSAND SMALLER THAN 4'**
- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
 - JEWELITE - 1" RED
 - BACKS - 3MM WHITE ACM
 - LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
 - ILLUMINATION - WHITE LEDs (7600 KELVIN / .76 WATTS PER MOD)
 - POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY

- *AMPERSAND 4' & LARGER**
- RETURNS - FABRICATED ALUMINUM CABINET (6" DEEP)-PAINTED TO MATCH 3M 3630-33 RED VINYL
 - FACES - 3M PANAGRAPHS III W/ 3M 3630-33 RED VINLY OVERLAY
 - BACKS - 3MM WHITE ACM
 - ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
 - POWER SUPPLIES LOCATED IN RACEWAY

- *CHANNEL LETTERS LARGER THAN 5'**
- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
 - FACE RETAINERS - 1" ALUMINM DEADSOFT PAINTED TO MATCH 3M 3630-33 RED VINYL
 - BACKS - 3MM WHITE ACM
 - LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
 - ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
 - POWER SUPPLIES LOCATED RACEWAY



Section @ LED Channel Ltr
Scale: N.T.S.
Specifications: Channel Letters



Section @ Wall Sign
Scale: N.T.S.
Specifications: Wall Sign



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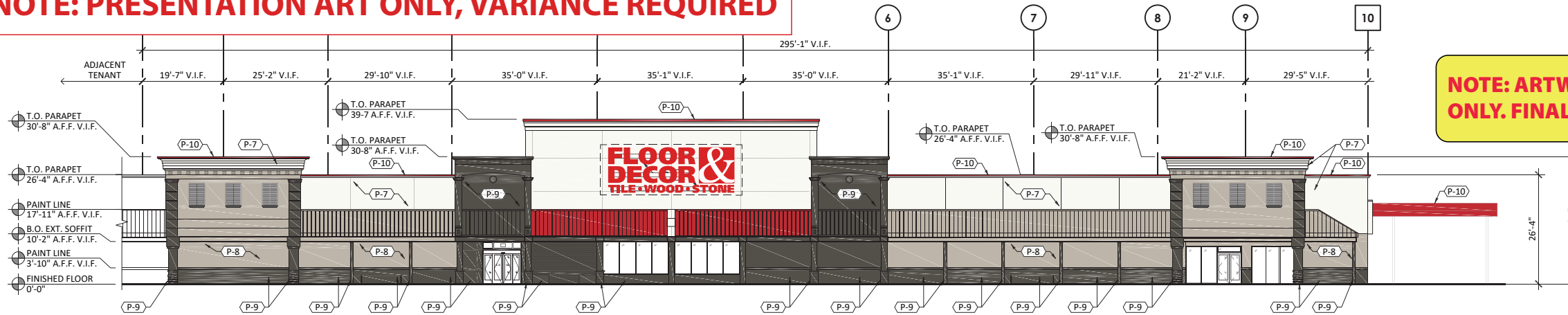
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DRAWING NO:
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J. Allington

NOTE: PRESENTATION ART ONLY, VARIANCE REQUIRED

ALLOWED: 81.72 SQFT
PROPOSED: 330.46 SQFT



NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONSTRUCTION DETAILS TBD BY ENGINEERING.

1 FRONT ELEVATION - EAST
SCALE: 1/16" = 1'-0"

S01b

5" X 3.5" RACEWAY SIZE FOR LETTERS/LOGOS SHORTER THAN 4'
8" X 4.375" RACEWAY SIZE FOR LETTERS/LOGOS 4' & TALLER
COLOR OF RACEWAY: TBD



330.46 SQ FT

INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS

***CHANNEL LETTERS SMALLER THAN 5'**

***AMPERSAND SMALLER THAN 4'**

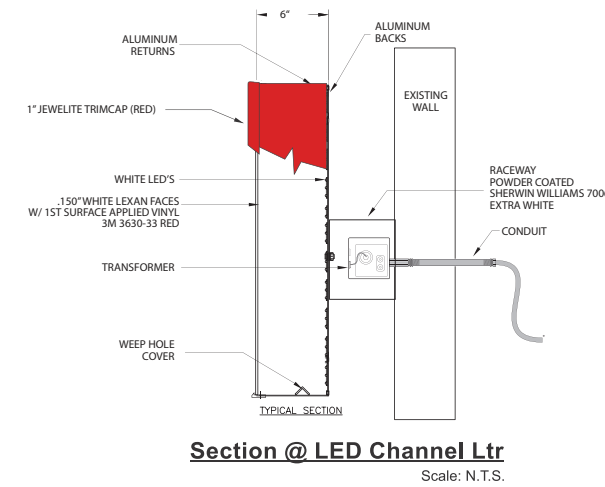
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- JEWELITE - 1" RED
- BACKS - 3MM WHITE ACM
- LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDs (7600 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY

***AMPERSAND 4' & LARGER**

- RETURNS - FABRICATED ALUMINUM CABINET (6" DEEP)-PAINTED TO MATCH 3M 3630-33 RED VINYL
- FACES - 3M PANAGRAPHICS III W/ 3M 3630-33 RED VINLY OVERLAY
- BACKS - 3MM WHITE ACM
- ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED IN RACEWAY

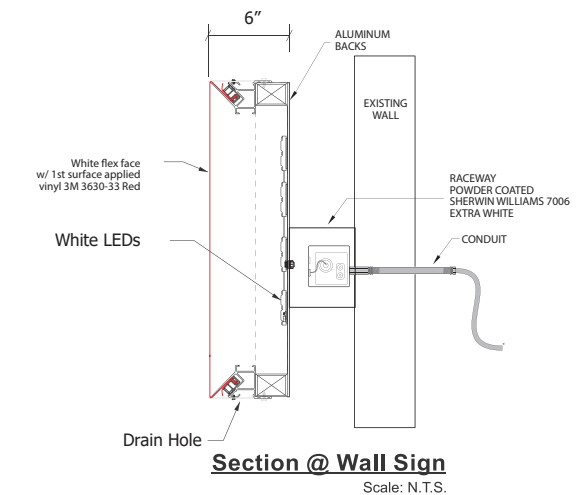
***CHANNEL LETTERS LARGER THAN 5'**

- RETURNS - .040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- FACE RETAINERS - 1" ALUMINM DEADSOFT PAINTED TO MATCH 3M 3630-33 RED VINYL
- BACKS - 3MM WHITE ACM
- LETTER FACES - .150 WHITE LEXAN W/ 3M 3630-33-RED VINYL OVERLAY
- ILLUMINATION - WHITE LEDs (6500 KELVIN / .76 WATTS PER MOD)
- POWER SUPPLIES LOCATED RACEWAY



Section @ LED Channel Ltr
Scale: N.T.S.

Specifications: Channel Letters



Section @ Wall Sign
Scale: N.T.S.

Specifications: Wall Sign



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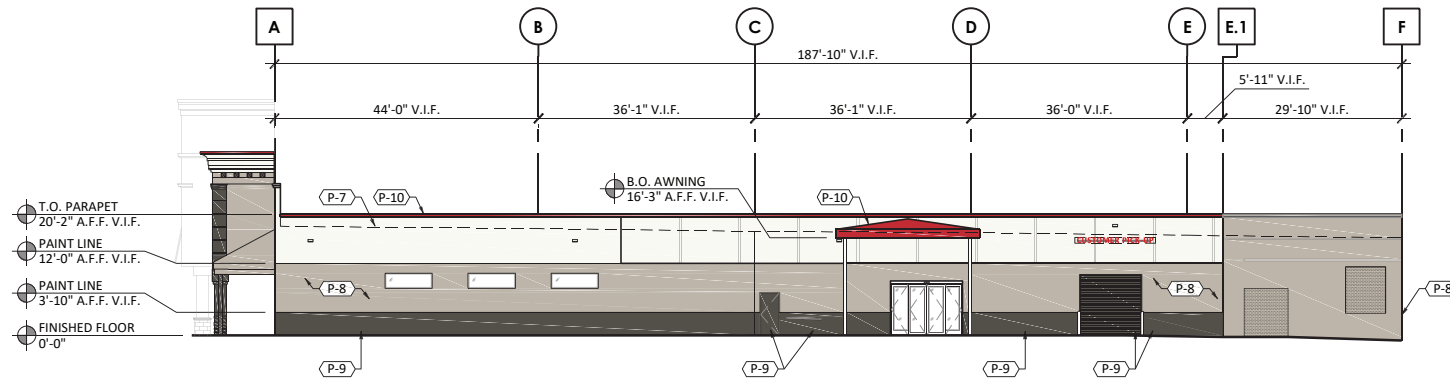
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FACE LIT CHANNEL LETTERS

ALLOWED: 100.00 SQFT
PROPOSED: 12.77 SQFT

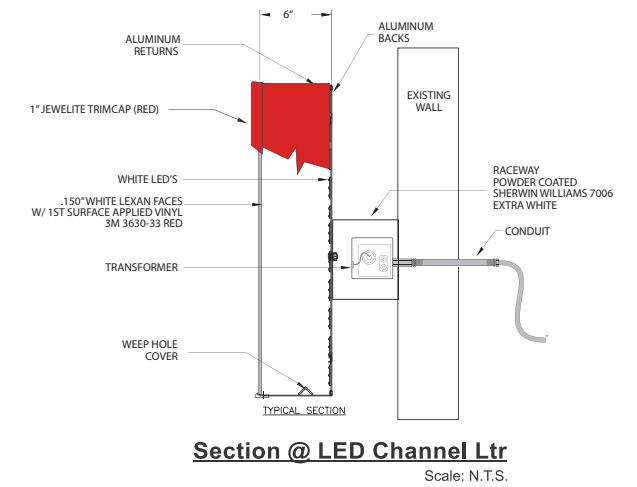
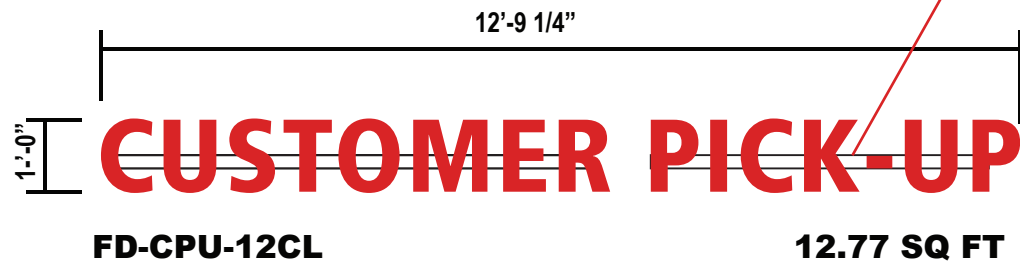
NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL CONSTRUCTION DETAILS TBD BY ENGINEERING.



2 RIGHT ELEVATION - NORTH
SCALE: 1/16" = 1'-0"

S02

5" X 3.5" RACEWAY SIZE FOR LETTERS/LOGOS SHORTER THAN 4'
8" X 4.375" RACEWAY SIZE FOR LETTERS/LOGOS 4' & TALLER
COLOR OF RACEWAY: TBD



Specifications: Channel Letters

INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS

- *CHANNEL LETTERS SMALLER THAN 5'
- *AMPERS AND SMALLER THAN 4'
- *ALUMINUM RETURNS - 1040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- *BACKS - 1040 PRE-FINISHED RED ALUMINUM (6" DEEP)
- *BACKS - 3MM WHITE ACM
- *BACKS - 150' WHITE LEXAN W/ 3M 3630-33-
- *LED FACES - 150' WHITE LEXAN W/ 3M 3630-33-
- *LEDS - 6500 KELVIN / .76 WATT PER MOD
- *POWER SUPPLIES LOCATED IN REMOTE HIDDEN RACEWAY



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Rev. #2	_____	_____	Rev. #5	_____
Rev. #3	_____	_____	Rev. #6	_____



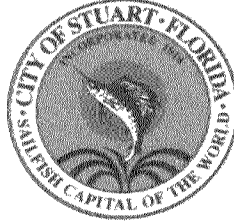
DRAWING NO:
1382738604.06

DATE: 12.23.2024

J. Allington



**CITY OF STUART
DEVELOPMENT DEPARTMENT**



Prepared by and return to:
City Development Director
121 SW Flagler Avenue
City of Stuart, FL 34994-2139

CITY OF STUART, FLORIDA

MINOR DEVELOPMENT ORDER – Z24110001

WHEREAS, on September 6, 2024, **Dynamic Engineering Consultants, P.C., P.A.** (“Representative”) submitted a Minor Development Plan application on behalf of **Floor and Décor Outlets of America, Inc.** (“Applicant”) and **NP I, Inc.** (“Property Owner”), as the title owner of the below described real property for Floor and Décor – Stuart (“the Project”) at 2130 SE Federal Highway and on lands within the City of Stuart, Martin County, Florida, and as further described in Exhibit “A”, attached hereto; and

WHEREAS, the Applicant is requesting approval to permit an interior renovation at 2130 SE Federal Highway, within the Stuart Square Shopping Plaza (FKA: Stuart Center); and the addition of five (5) parking spaces, installing one (1) roll-up-door, replacing the existing porte-cochere canopy, and installing landscaping on the northwest façade of the structure; and

WHEREAS, pursuant to City of Stuart Land Development Code Section 11.01.03, final action on a non-residential development under 50,000 square feet in area, and other Minor Development Plan applications shall be reviewed and approved by the City Development Director.

NOW, THEREFORE, THE CITY OF STUART DEVELOPMENT DIRECTOR HEREBY MAKES THE FOLLOWING DETERMINATION AND APPROVAL:

- A. The foregoing recitals are hereby incorporated herein by reference.
- B. The following identified **Development Documents** (1 through 5), which will be kept on file with the City Clerk’s Office and collectively referred to as **Exhibit “C”**, are hereby incorporated herein:
 1. Boundary Survey and Specific Topo Survey (Sheets 1-4), dated July 11, 2024 (revised through January 16, 2025), and prepared and digitally signed by William J. Wright, P.S.M. of Dynamic Engineering on January 16, 2025.

2. Site Plan (Sheet C1.00), dated October 3, 2024, (revised through February 19, 2025), and prepared and digitally signed by Angel Pinero, P.E., of Dynamic Engineering on February 19, 2025.
 3. Engineering Plan (Sheets C0.00-C0.02, C1.01-C1.03, C2.00-C2.02, and C3.00-C3.01), dated October 3, 2024, prepared and sealed on January 21, 2025, by Angel Pinero, P.E., of Dynamic Engineering.
 4. Landscape Plan (Sheet LP-1), dated August 8, 2024 (revised through February 17, 2025), and prepared and digitally signed by Jennifer N. Miller, L.A., of Dynamic Engineering on February 17, 2025.
 5. Elevation Plan (Sheet ELEV) dated October 10, 2024 (revised through January 21, 2025), and prepared and digitally signed by James L. Cohen, of SBLM Architects on January 21, 2025.
- C. The construction of a non-residential development under 50,000 square feet shall strictly follow the Site Plan, the Architectural Plans and Elevations, and the Conditions of Approval, attached hereto as **Exhibit "B"**. The City shall issue no permits for construction or further development activity until all required documents, plans, and fees, if any, are received and approved as may be required in the Conditions of Approval.
- D. As part of this Minor Development Plan approval, the Applicant, Property Owner, developer, and/or successor in interest shall obtain all applicable development permits and construction authorizations from the appropriate State, Federal, and local regulatory agencies including, but not limited to, the United States Army Corps of Engineers, the Florida Department of Environmental Protection, South Florida Water Management District, or the City of Stuart Public Works, Utilities & Engineering, and Building Departments prior to the commencement of any development activities on the property described in **Exhibit "A"**. Approval by the City of Stuart does not in any way create any rights on the part of the Applicant, Property Owner, developer, and/or successor in interest to obtain a permit from a State or Federal agency and does not create any liability on the part of the City for issuance of this approval if the Applicant, Property Owner, developer, and/or successor in interest fails to obtain requisite approvals or fulfill the obligations imposed by a State or Federal agency or undertake actions that may result in a violation of State or Federal law.
- E. The conditions of approval outlined in **Exhibit "B"** are an integral non-severable part of the Minor Development Plan approval granted by this Development Order. If any condition(s) of approval outlined in **Exhibit "B"** are determined to be invalid or unenforceable for any reason and the developer declines to comply voluntarily with that condition(s), the site plan approval granted by this Development Order shall become null and void.

F. The approval granted by this Development Order shall become null and void unless a Building and/or Site Permit is obtained within five (5) years of the Minor Development Plan approval, for the use described in Exhibits "B" & "C", or an extension is granted per Section 8.05.08 of the City of Stuart Land Development Code.

G. This Development Order shall be recorded in the Martin County public records.

Signed, Attested, Rendered and Filed this 26th day of March 2025.

ATTESTED BY: Mary R. Kindel
Mary R. Kindel
City Clerk

APPROVED BY: Jodi Kugler
Jodi Kugler
City Development Director

APPROVED AS TO FORM AND CORRECTNESS:

Lee J. Baggett
Lee J. Baggett, ESQ.
City Attorney

Exhibit "A"
Legal Description

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARTIN, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL "A":

A PARCEL OF LAND LOCATED IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST; THENCE NORTH 00 DEGREES 48 MINUTES 38 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 9 A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. NO. 1); THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 337.25 FEET TO THE **POINT OF BEGINNING**; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 150.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST A DISTANCE OF 200.00 FEET TO A POINT OF THE NORTHERLY RIGHT-OF-WAY LINE OF PALM BEACH AVENUE; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 450.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 1013.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 138.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 12.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 162.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 300.00 FEET TO SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 275.00 FEET; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 150.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST A DISTANCE OF 150.00 FEET THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 150.00 FEET TO SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5 A DISTANCE OF 500.00 FEET TO THE **POINT OF BEGINNING**.

AND:

A PARCEL OF LAND LOCATED IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS:

START AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST; THENCE RUN NORTH 00 DEGREES 48 MINUTES 38 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 9 A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. NO. 1); THENCE RUN NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5, A DISTANCE OF 1262.25 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 300.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST, A DISTANCE OF 100.00 FEET; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 162.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST A DISTANCE OF 12.00 FEET; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 138.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 275.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 162.28 FEET TO A POINT OF CURVATURE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 555.00 FEET THROUGH A CENTRAL ANGLE OF 9 DEGREES 00 MINUTES 00 SECONDS; THENCE RUN ALONG THE ARC OF SAID CURVE A DISTANCE OF 87.18 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 645.00 FEET THROUGH A CENTRAL ANGLE OF 9 DEGREES 00 MINUTES 00 SECONDS; THENCE RUN ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 101.32 FEET TO A POINT; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 250.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY ONE; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 148.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING:

A PARCEL OF LAND LYING IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, PROCEED NORTH 00 DEGREES 48 MINUTES 38 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. HIGHWAY NO. 1);

THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 137.25 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PALM BEACH AVENUE BEING 40 FEET NORTHERLY OF AND PARALLEL WITH THE CENTERLINE THEREOF; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 157.39 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 182.61 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST, A DISTANCE OF 10.00 FEET TO A POINT ON A LINE 10 FEET NORTHERLY OF AND PARALLEL WITH SAID RIGHT-OF-WAY LINE; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST, ALONG SAID LINE, A DISTANCE OF 140.95 FEET; THENCE NORTH 62 DEGREES 02 MINUTES 03 SECONDS EAST, A DISTANCE OF 42.85 FEET TO THE **POINT OF BEGINNING**.

ALSO KNOWN AND DESCRIBED AS:

A PARCEL OF LAND LOCATED IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST; THENCE N 00° 48' 38" E ALONG THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. NO. 1); THENCE N 41° 27' 42" W ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 337.25 FEET TO THE **POINT OF BEGINNING**; THENCE S 48° 32' 18" W, A DISTANCE OF 150.00 FEET; THENCE S 41° 27' 42" E, A DISTANCE OF 200.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PALM BEACH AVENUE; THENCE S 48° 32' 18" W ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 450.00 FEET; THENCE N 41° 27' 42" W, A DISTANCE OF 1288.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF CENTRAL PARKWAY; THENCE N 48° 32' 18" E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 162.28 FEET TO A POINT OF CURVATURE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 555.00 FEET, THROUGH A CENTRAL ANGLE OF 9 DEGREES; THENCE RUN ALONG THE ARC OF SAID CURVE A DISTANCE OF 87.18 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 645.00 FEET, THROUGH A CENTRAL ANGLE OF 9° 00' 00"; THENCE RUN ALONG THE ARC OF SAID CURVE FOR A DISTANCE, OF 101.32 FEET TO A POINT; THENCE N 48° 32' 18" E, A DISTANCE OF 250.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY ONE; THENCE S 41° 27' 42" E ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 423.00 FEET;

THENCE S 48° 32' 18" W, A DISTANCE OF 150.00 FEET; THENCE S 41° 27' 42" E, A DISTANCE OF 150.00 FEET; THENCE N 48° 32' 18" E, A DISTANCE OF 150.00 FEET TO SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5; THENCE S 41° 27' 42" E ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5, A DISTANCE OF 500.00 FEET TO THE **POINT OF BEGINNING**.

LESS AND EXCEPT:

A PARCEL OF LAND DEEDED TO MARTIN COUNTY FOR RIGHT OF WAY PURPOSES ALONG PALM BEACH AVENUE LYING IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, PROCEED N 00° 48' 38" E ALONG THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD 5 (U.S. HIGHWAY NO. 1) ; THENCE N 41° 27' 42" W ALONG SAID WESTERLY RIGHT OF WAY LINE A DISTANCE OF 137.35 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF PALM BEACH AVENUE BEING 40 FEET NORTHERLY OF AND PARALLEL WITH THE CENTERLINE THEREOF; THENCE S 48° 32' 18" W ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 157.39 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE S 48° 32' 18" W ALONG SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 182.61 FEET; THENCE N 41° 27' 42" W, A DISTANCE OF 10.00 FEET TO A POINT ON A LINE 10 FEET NORTHERLY OF AND PARALLEL WITH SAID RIGHT OF WAY LINE; THENCE N 48° 32' 18" E, ALONG SAID LINE, DISTANCE OF 140.95 FEET; THENCE N 62° 02' 03" E, A DISTANCE OF 42.85 FEET TO THE **POINT OF BEGINNING**.

LESS AND EXCEPT ANY PORTION THEREOF, CONVEYED TO 2200 SE FEDERAL STUART FL, LLC, A FLORIDA LIMITED LIABILITY COMPANY, BY VIRTUE OF THAT CERTAIN SPECIAL WARRANTY DEED, FILED SEPTEMBER 26, 2013 RECORDED IN OFFICIAL RECORDS BOOK 2678, PAGE 2317, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

PARCEL I.D.: 09-38-41-000-000-00400-1

PARCEL ADDRESS: 2130 SE Federal Highway, Stuart FL, 34994

Exhibit "B"
Conditions of Approval

General

The Minor Development Plan approval for Floor and Décor permits an interior renovation of the 55,530 square foot one (1) story commercial building to be utilized for retail, office, and interior storage uses. The building and site improvements include interior renovations and installing a roll-up garage door on the northwest building facade, the addition of five (5) parking spaces for customer pickup and loading, replacement of the existing porte-cochere canopy, landscaping improvements, stormwater improvements adjacent to the northwest building façade, and the relocation of ADA parking spaces adjacent to the front of the building. The proposed improvements will provide a 63.9% impervious surface coverage for the 15.28-acre site.

Site Data Calculations:

Lot Coverage	Existing Acres	Proposed Acres	Percentage %
Total Site Area	15.28 ac	15.28 ac	100%
Impervious Area including new concrete pad & pavers	9.75 ac	9.77 ac	63.9%
Total Buildings	4.12 ac	4.12 ac	27.0%
Pervious Area	1.41 ac	1.39 ac	9.1%

Proposed On-Site Parking Calculations:

Land Use Type: Retail – Strip Shopping Center		
Parking	Existing Spaces	Provided Spaces
(179,416 sq ft) 1 per 250 sq ft	720	725
ADA Accessible Spaces	23	23
Total parking spaces	743	748

1. By acceptance of this Development Order, the Property Owner, applicant, developer, and/or successor in interest acknowledges and agrees to abide by the terms of Florida Statutes § 166.033 as pertaining to State and Federal agency permits.
2. All Site and Building Permits shall be applied for with the City of Stuart Development Department. Approval of a Minor Development Plan shall not be construed as a license to proceed with work and shall not be interpreted as authority to violate, cancel, alter, or set aside any of the provisions of the

City Code. Approval shall not prevent the City of Stuart from requiring corrections of errors in plans, construction, or violation of the City Code.

3. All applicable State or Federal permits must be obtained before the commencement of any development activities. Issuance of this development order by the City of Stuart does not in any way create any right on the part of an applicant to obtain a permit from a State or Federal agency and does not create any liability on the part of the City of Stuart for the issuance of this order/permit/approval if the Applicant fails to obtain requisite approvals or fulfill the obligations imposed by a State or Federal agency or undertakes actions that result in a violation of State or Federal law.
4. Any regulatory agency permits required for the development, including but not limited to the Florida Department of Transportation (FDOT), South Florida Water Management District (SFWMD), Department of Environmental Protection (FDEP), and Army Corp of Engineers, shall be obtained by the applicant, property owner, developer, and/or successor in interest, and copies provided to the City of Stuart Development Department before the commencement of any upland site improvements or development activities.
5. Any changes to this approved site plan will require an application for amendment, in accordance with Section 11.01.00 of the Land Development Code.
6. Long-term parking of vehicles, boats or recreational vehicles shall not be permitted at any time.
7. All applicable utility fees (*water, sanitary sewer, sanitation, stormwater*) must be paid in full and accounts established prior to activation of services.
8. No temporary or modular buildings are permitted on the property except for a permitted/approved temporary construction trailer.
9. **Signs** – All signage must comply with the Design Standards Matrix outlined under the Land Development Code Section 6.11.17. A maximum of two (2) wall signs are permitted with a maximum combined area of 100 square feet per occupant.
10. **Landscaping** - Not less than 50 percent of all trees used to meet landscaping requirements shall be shade or canopy trees. Trees shall have a minimum height of 12 feet and a minimum spread of six feet at planting. Palm trees may be substituted for any number of the remaining trees provided that two palm trees shall be counted as one tree.
 - a. Trees of species whose canopy could be damaged by or could cause damage to overhead power lines shall not be planted closer than a horizontal distance from overhead power lines of 30 feet for large-sized trees and 20 feet for medium-sized trees. Large- and medium-sized trees shall be determined by current Florida Power and Light (FPL) guidelines. Small trees can be planted adjacent to power lines. Palm trees should be planted at a distance equal to or greater than the average frond length plus two feet from the power lines. Planting near pad mounted transformers shall not restrict access to or maintenance of the transformer, and a five-foot clearance is recommended. For additional information, contact Florida Power and Light (FPL) for recommended tree lists and setbacks.

- b. Shrubs shall be a minimum of 24 inches in height and have a minimum 12-inch spread or be a three-gallon container size at planting.
 - c. Ground cover used in lieu of grass shall be planted so as to present a finished appearance and reasonable complete coverage within three months of installation. All landscaped areas shall be sodded or otherwise covered with ground cover.
 - d. Grass areas shall be planted in species locally grown as permanent lawns. Grass areas may be sodded, plugged, sprigged, or seeded provided solid sod shall be used in swales or other areas subject to erosion. In areas where solid sod or grass seed is not used, nurse grass seed shall be sown for immediate effect and protection until coverage is otherwise achieved.
 - e. All irrigation systems shall include a "rain switch" to monitor rain levels and irrigation needs.
 - f. All landscape plans must show the location of existing or proposed utility lines that could be impacted by the vegetation being planted.
 - g. Impervious surfaces shall not be placed within five feet of the base of an existing tree to be preserved.
 - h. In order to allow for flexibility and creativity in design standards, hedges may be replaced or interrupted in areas that provide for a decorative wall and berms and other creative landscape features, and landscape materials may be clustered so long as the parking area remains screened from the public right-of-way and adjacent private property. Such modification must be approved by the Development Director, in accordance with the site plan review procedures and must be consistent with the intent of this landscape code.
11. Prior to final zoning inspection for the required site permit, the applicant will be required to submit the following documentation to the City of Stuart Development Department:
- a. As-built landscape plan to confirm the landscaping was installed per the approval plan
 - b. A signed and sealed letter from the landscape architect stating that all landscaping has been installed according to the approved plans.
 - c. A one-year warranty certificate from the plant nursery

City of Stuart Public Works Department

12. If the new proposed use requires sanitation services more than the standard twice-a-week scheduling, additional sanitation fees may apply, or the installation of vert-i-pack(s) may be required within the double dumpster enclosure.
13. All construction pertinent to the Public Works Department shall be installed, inspected, and tested in accordance with the City of Stuart Minimum Design and Construction Standards latest edition and the

City of Stuart Specifications and Ordinances where applicable. In case of discrepancies between the construction plans and aforementioned manuals, the most restrictive shall apply.

14. Approval by the Public Works Department shall not be construed to be a license to proceed with work and shall not be construed as authority to violate, cancel, alter or set aside any of the provisions of the City Code. Approval shall not prevent the Public Works Department from thereafter requiring a correction of errors in plans, construction, or violation of the City Code.
15. Code compliance rests with the design engineer.

City of Stuart Fire Department

16. All work must comply with the Florida Fire Prevention Code, 8th Edition.
17. The review and approval by the Authority Having Jurisdiction (AHJ) shall not relieve the applicant of the responsibilities of compliance with the Code.

Exhibit "C" Development Documents on File with the City of Stuart Clerk's Office

1. Boundary Survey and Specific Topo Survey (Sheets 1-4) dated July 11, 2024 (revised through January 16, 2025), and prepared and digitally signed by William J. Wright, P.S.M. of Dynamic Engineering on January 16, 2025.
2. Site Plan (Sheet C1.00), dated October 3, 2024, (revised through February 19, 2025), and prepared and digitally signed by Angel Pinero, P.E., of Dynamic Engineering on February 19, 2025.
3. Engineering Plan (Sheets C0.00-C0.02, C1.01-C1.03, C2.00-C2.02, and C3.00-C3.01), dated October 3, 2024, prepared and sealed on January 21, 2025, by Angel Pinero, P.E., of Dynamic Engineering.
4. Landscape Plan (Sheet LP-1), dated August 8, 2024 (revised through February 17, 2025), and prepared and digitally signed by Jennifer N. Miller, L.A., of Dynamic Engineering on February 17, 2025.
5. Elevation Plan (Sheet ELEV) dated October 10, 2024 (revised through January 21, 2025), and prepared and digitally signed by James L. Cohen, of SBLM Architects on January 21, 2025.

DESIGN STANDARDS MATRIX SIGNS IN B-1, B-2, B-4, I, H, P; Urban Code Districts including Urban highway (UH), Urban General (UG), Urban Center (UC) and Urban Waterfront (UW); East Stuart Code Districts including Business and Mixed-use (BMU).

Type of Sign	Quantity	Area (max.)	Location	Height	Sign Copy Limits	Illumination
Wall	Not more than two per occupant	1.5 sq. ft. for first 25 linear feet occupancy; then 1 sq. ft. per linear foot over 25 linear feet occupancy (not to exceed 100 sq. ft. per occupancy)	on building face	N/A	N/A	Allowed
Projecting	One per street frontage per occupant	16 sq. ft./face	from building face (6' max)	9' minimum	N/A	Allowed
Under canopy	One per street frontage per occupant	4 sq. ft./face	hung under canopy	N/A	N/A	Allowed

DESIGN STANDARDS MATRIX SIGNS IN B-1, B-2, B-4, I, H, P; Urban Code Districts including Urban highway (UH), Urban General (UG), Urban Center (UC) and Urban Waterfront (UW); East Stuart Code Districts including Business and Mixed-use (BMU).

Type of Sign	Quantity	Area (max.)	Location	Height	Sign Copy Limits	Illumination
Monument	One or more allowed based on parcel frontage	¾ sq. ft. per linear foot of frontage (not to exceed 100 sq. ft./face with (2) face maximum per monument sign) with a minimum 300' separation per parcel	10' front yard setback minimum and 25' front yard setback maximum	15' max on US1, otherwise 10' max	6' - 3 tenant signs/face 10' - 4 tenant signs/face 12' - 5 tenant signs/face 15' - 6 tenant signs/face	Allowed
Free-standing	One per frontage	16 sq. ft./face (6 ft. max width) with a minimum 300' separation	10' front yard setback	6' max	6' - 3 tenant signs/face	Allowed
Directory	One per building	24 sq. ft.	on building face	N/A	N/A	Allowed

DESIGN STANDARDS MATRIX SIGNS IN B-1, B-2, B-4, I, H, P; Urban Code Districts including Urban highway (UH), Urban General (UG), Urban Center (UC) and Urban Waterfront (UW); East Stuart Code Districts including Business and Mixed-use (BMU).

Type of Sign	Quantity	Area (max.)	Location	Height	Sign Copy Limits	Illumination
Tenant	One per business	2 sq. ft.	at the entrance of the office	N/A	N/A	N/A
Billboard ("I" district only)	1000' separation and 300' from residential	100 sq. ft. / face with (2) face maximum per sign (20 ft. max width and 8 ft. max height)	at least 20 feet from road right of way or property line	25' max	N/A	Allowed

DESIGN STANDARDS MATRIX SIGNS IN B-1, B-2, B-4, I, H, P; Urban Code Districts including Urban highway (UH), Urban General (UG), Urban Center (UC) and Urban Waterfront (UW); East Stuart Code Districts including Business and Mixed-use (BMU).

Type of Sign	Quantity	Area (max.)	Location	Height	Sign Copy Limits	Illumination
Manual or Electronic Changeable Copy	One changeable copy message sign per street frontage; 2 max per parcel	100 sq. ft. (may be exceeded if it is determined by the Development Director that a larger sign is necessary to complement the architectural character of the structure to which it is attached)	On primary building frontage; vertical clearance of at least 9' above grade; shall be installed perpendicular or parallel to the building facade	N/A	N/A	Allowed

Return to:
City Attorney
City of Stuart
121 SW Flagler Avenue
Stuart, FL 34994

**BEFORE THE LOCAL PLANNING AGENCY
CITY OF STUART, FLORIDA**

Case #Z25040003

In re: The Code Variance Application of
Floor & Decor
2130 SE Federal Highway
PCN: 09-38-41-000-00000400-1

FINAL ORDER OF VARIANCE APPROVAL

THIS CAUSE came for hearing before the Local Planning Agency for the City of Stuart, Florida, at a regular set hearing at 5:30 PM on June 19, 2025 at the City Commission Chambers, 121 S.W. Flagler Avenue, Stuart, Florida; and the Board, having considered the sworn testimony and other evidence presented by the city staff, including, but not limited to the staff report, the Petitioner, and any Intervenors, finds as follows:

1. Petitioner, Ricky Torres of Alternative Sign Group, Inc., acting on behalf of Floor & Decor, applied a Variance from the following provision of the City of Stuart Land Development Code (LDC):

a. LDC Section 6.11.17. - Design standards matrix (Table 6.11.17) to allow for two (2) wall signs to exceed the maximum combined sign area of 100 square feet per occupant.

2. Notice of the hearing was provided as required by the Stuart Land Development Code (LDC). Notice was not challenged by any party at the hearing, and the Local Planning Agency has jurisdiction over this case as provided in Section 8.05.01 of the City's Land Development Code.

3. The City presented evidence by and through Jodi Kugler, City of Stuart Development Director, and the Applicant was represented by _____, on behalf of _____, for Floor & Décor and the property owner.

4. Jodi Kugler testified on behalf of the City that NP I, Inc. is the entity owning

the real property at 09-38-41-000-000-000-00400-1, having a legal description attached as “**Exhibit 1.**”

5. Jodi Kugler verified the subject parcel is zoned **B-2 Business General** under the City’s LDC with a Future Land Use designation of **Commercial** under the City’s comprehensive plan. The Future Land Use and Zoning categories were not challenged by any party at the hearing.

6. Jodi Kugler, Development Director, gave testimony and analyzed the case, and indicated the _____.

7. _____, presented on behalf of the petitioner

8. All subsequent Lessees and Owners shall be bound to the terms of this Variance, and this Variance shall carry forward and “run with the land” unless later released by the City Development Director, or as otherwise provided by law.

9. This Order shall become effective upon the date indicated below. An appeal from the Local Planning Agency’s action must be processed within thirty (30) days following the rendition of the decision of this order in accordance with Section 8.07.05. of the City of Stuart Land Development Code.

10. At the conclusion of the evidence and any follow-up questioning by the Board Members, brief summaries were made by the Petitioner. The Board then entered the deliberation, and discussed the following:

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Board Member _____ offered a motion to approve the variance(s). The motion was seconded by Board Member _____ and upon being put to a roll call vote, the vote was as follows:

KELLY LAURINE, CHAIR
DEANA PETERSON, VICE-CHAIR
WARNER BOLS, MEMBER
MARGARET BROMFIELD, MEMBER
RYAN STROM, MEMBER
LANCE VOGL, MEMBER

YES	NO	ABSENT

ADOPTED this 19th day of June 2025.

ATTEST:

By: _____
SUSEJ T. MELEQI
DEPUTY CITY CLERK

KELLY LAURINE, CHAIR

APPROVED AS TO FORM
AND CORRECTNESS:

LEE J. BAGGETT, ESQ
CITY ATTORNEY

EXHIBIT 'A'

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARTIN, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL "A":

A PARCEL OF LAND LOCATED IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST; THENCE NORTH 00 DEGREES 48 MINUTES 38 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 9 A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. NO. 1); THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 337.25 FEET TO THE **POINT OF BEGINNING**; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 150.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST A DISTANCE OF 200.00 FEET TO A POINT OF THE NORTHERLY RIGHT-OF-WAY LINE OF PALM BEACH AVENUE; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 450.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 1013.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 138.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 12.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 162.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 300.00 FEET TO SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 275.00 FEET; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 150.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST A DISTANCE OF 150.00 FEET THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 150.00

FEET TO SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5 A DISTANCE OF 500.00 FEET TO THE **POINT OF BEGINNING**.

AND:

A PARCEL OF LAND LOCATED IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS:

START AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST; THENCE RUN NORTH 00 DEGREES 48 MINUTES 38 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 9 A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. NO. 1); THENCE RUN NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5, A DISTANCE OF 1262.25 FEET TO THE **POINT OF BEGINNING**; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 300.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST, A DISTANCE OF 100.00 FEET; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 162.00 FEET; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST A DISTANCE OF 12.00 FEET; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST A DISTANCE OF 138.00 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST A DISTANCE OF 275.00 FEET; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 162.28 FEET TO A POINT OF CURVATURE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 555.00 FEET THROUGH A CENTRAL ANGLE OF 9 DEGREES 00 MINUTES 00 SECONDS; THENCE RUN ALONG THE ARC OF SAID CURVE A DISTANCE OF 87.18 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 645.00 FEET THROUGH A CENTRAL ANGLE OF 9 DEGREES 00 MINUTES 00 SECONDS; THENCE RUN ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 101.32 FEET TO A POINT; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST A DISTANCE OF 250.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY ONE; THENCE SOUTH 41 DEGREES 27 MINUTES 42 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 148.00 FEET TO THE **POINT OF BEGINNING**.

LESS AND EXCEPT THE FOLLOWING:

A PARCEL OF LAND LYING IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, PROCEED NORTH 00 DEGREES 48 MINUTES 38 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. HIGHWAY NO. 1); THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 137.25 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PALM BEACH AVENUE BEING 40 FEET NORTHERLY OF AND PARALLEL WITH THE CENTERLINE THEREOF; THENCE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 157.39 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE SOUTH 48 DEGREES 32 MINUTES 18 SECONDS WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 182.61 FEET; THENCE NORTH 41 DEGREES 27 MINUTES 42 SECONDS WEST, A DISTANCE OF 10.00 FEET TO A POINT ON A LINE 10 FEET NORTHERLY OF AND PARALLEL WITH SAID RIGHT-OF-WAY LINE; THENCE NORTH 48 DEGREES 32 MINUTES 18 SECONDS EAST, ALONG SAID LINE, A DISTANCE OF 140.95 FEET; THENCE NORTH 62 DEGREES 02 MINUTES 03 SECONDS EAST, A DISTANCE OF 42.85 FEET TO THE **POINT OF BEGINNING**.

ALSO KNOWN AND DESCRIBED AS:

A PARCEL OF LAND LOCATED IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST; THENCE N 00° 48' 38" E ALONG THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (U.S. NO. 1); THENCE N 41° 27' 42" W ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 337.25 FEET TO THE **POINT OF BEGINNING**; THENCE S 48° 32' 18" W, A DISTANCE OF 150.00 FEET; THENCE S 41° 27' 42" E, A DISTANCE OF 200.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PALM BEACH AVENUE; THENCE S 48° 32' 18" W ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 450.00 FEET; THENCE N 41° 27' 42" W, A DISTANCE OF 1288.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF CENTRAL PARKWAY;

THENCE N 48° 32' 18" E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 162.28 FEET TO A POINT OF CURVATURE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 555.00 FEET, THROUGH A CENTRAL ANGLE OF 9 DEGREES; THENCE RUN ALONG THE ARC OF SAID CURVE A DISTANCE OF 87.18 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 645.00 FEET, THROUGH A CENTRAL ANGLE OF 9° 00' 00"; THENCE RUN ALONG THE ARC OF SAID CURVE FOR A DISTANCE, OF 101.32 FEET TO A POINT; THENCE N 48° 32' 18" E, A DISTANCE OF 250.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY ONE; THENCE S 41° 27' 42" E ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 423.00 FEET; THENCE S 48° 32' 18" W, A DISTANCE OF 150.00 FEET; THENCE S 41° 27' 42" E, A DISTANCE OF 150.00 FEET; THENCE N 48° 32' 18" E, A DISTANCE OF 150.00 FEET TO SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5; THENCE S 41° 27' 42" E ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5, A DISTANCE OF 500.00 FEET TO THE **POINT OF BEGINNING**.

LESS AND EXCEPT:

A PARCEL OF LAND DEEDED TO MARTIN COUNTY FOR RIGHT OF WAY PURPOSES ALONG PALM BEACH AVENUE LYING IN SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 38 SOUTH, RANGE 41 EAST, PROCEED N 00° 48' 38" E ALONG THE EAST LINE OF SAID SECTION 9, A DISTANCE OF 747.39 FEET TO THE POINT OF INTERSECTION OF SAID EAST LINE WITH THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD 5 (U.S. HIGHWAY NO. 1); THENCE N 41° 27' 42" W ALONG SAID WESTERLY RIGHT OF WAY LINE A DISTANCE OF 137.35 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF PALM BEACH AVENUE BEING 40 FEET NORTHERLY OF AND PARALLEL WITH THE CENTERLINE THEREOF; THENCE S 48° 32' 18" W ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 157.39 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE S 48° 32' 18" W ALONG SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 182.61 FEET; THENCE N 41° 27' 42" W, A DISTANCE OF 10.00 FEET TO A POINT ON A LINE 10 FEET NORTHERLY OF AND PARALLEL WITH SAID RIGHT OF WAY LINE; THENCE N 48° 32' 18" E, ALONG SAID LINE, DISTANCE OF 140.95 FEET; THENCE N 62° 02' 03" E, A DISTANCE OF 42.85 FEET TO THE **POINT OF BEGINNING**.

LESS AND EXCEPT ANY PORTION THEREOF, CONVEYED TO 2200 SE FEDERAL STUART FL, LLC, A FLORIDA LIMITED LIABILITY COMPANY, BY VIRTUE OF THAT CERTAIN SPECIAL WARRANTY DEED, FILED SEPTEMBER 26, 2013 RECORDED IN OFFICIAL RECORDS BOOK 2678, PAGE 2317, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

PARCEL I.D.: 09-38-41-000-000-00400-1

PARCEL ADDRESS: 2130 SE Federal Highway, Stuart FL, 34994

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